



CITY OF OWOSSO PLANNING COMMISSION
Regular Meeting
Monday, December 13, 2021 at 6:30 p.m.
AGENDA

- A. CALL TO ORDER**
- B. PLEDGE OF ALLEGIANCE**
- C. ROLL CALL**
- D. APPROVAL OF AGENDA** – December 13, 2021
- E. APPROVAL OF MINUTES** – November 22, 2021
- F. ELECTION OF OFFICERS** – *if necessary (due in July 2022)*
- G. PUBLIC HEARINGS: NONE**
- H. SITE PLAN REVIEWS:**
 - 1. 1410/1420 Hathaway
- I. ITEMS OF BUSINESS:**
- J. COMMISSIONER/CITIZEN COMMENTS:**
- K. ADJOURNMENT**

Next regular meeting will be on Monday, January 24, 2022 at 6:30 p.m.

The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and recordings of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours' notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing or calling the following: Amy Kirkland, City Clerk, 301 W. Main St, Owosso, MI 48867 (989) 725-0500. The City of Owosso website is: www.ci.owosso.mi.us

MINUTES
REGULAR MEETING OF THE OWOSSO PLANNING COMMISSION
Monday, November 22, 2021 – 6:30 P.M.

CALL TO ORDER: Chairman Wascher called the meeting to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE: Recited

ROLL CALL: Recording Secretary Molly Hier

MEMBERS PRESENT: Secretary Fear, Commissioners Law, Morris, Robertson, Taylor, Chairman Wascher

MEMBERS ABSENT: Commissioner Jenkins, Vice-Chair Livingston

OTHERS PRESENT: Planning and Building Director Tanya Buckelew

APPROVAL OF AGENDA:

MOTION BY COMMISSIONER ROBERTSON, SUPPORTED BY COMMISSIONER LAW TO APPROVE THE AGENDA FOR November 22, 2021.

YEAS ALL. MOTION CARRIED.

APPROVAL OF MINUTES:

MOTION BY SECRETARY FEAR SUPPORTED BY COMMISSIONER LAW TO APPROVE THE MINUTES FOR THE September 27, 2021 MEETING.

YEAS ALL. MOTION CARRIED.

PUBLIC HEARINGS:

1. Rezoning Request – PREZ 2021-05 JABB MANAGEMENT – 108 N Chipman Street

Planning & Building Director Tanya Buckelew explained the property was originally zoned industrial but was rezoned to B-3 in 2012 due to being combined with W. Main Street frontage. A lot split was approved at the 11/01/2021 City Council meeting. There is now one lot with frontage on W. Main Street and this lot with frontage on N. Chipman Street. The applicant will keep the B-3 zoning on the parcel fronting along W. Main Street. The applicant is requesting 108 N. Chipman Street be rezoned back to I-1 Light Industrial for the purpose of a marihuana grow facility.

Opened the Public Hearing at: 6:35 pm

The following commented:

Eugene and Dee Riley of 1106 Beehler Street objected to the rezoning and use of 108 N. Chipman being used as a marihuana grow facility. Concerned about potential smell and deterioration of property value in the area.

Travis Prince of 1203 W. Main Street objected to the rezoning and use of 108 N. Chipman being used as a marihuana grow facility.

The City received a letter from Julie Wenzlick of 1101 Riverside Drive regarding grow facilities in Owosso and the odor that exists in Chesaning.

Adam Bronson, owner of 108 N. Chipman Street, explained if rezoned to industrial his plans for the building are an allowable use, offered explanation on odor control.

Closed the Public Hearing at: 6:40 pm

Planning & Building Director Tanya Buckelew briefly explained the city ordinance and that outdoor grow is not allowed in the City and strict adherence to odor control is provided for in the ordinance.

Chairman Wascher expressed concern on adding more industrial zones in the City of Owosso, Commissioner Robertson agreed.

Commissioner Law commented in support to this rezoning and wants to see the building occupied.

The following review is from Justin Sprague, City Planner with CIB Planning:

The subject parcel is located along the east side of N. Chipman Street, adjacent to the rail line. The property is identified in the draft master plan as an area for redevelopment but did not specifically state what redevelopment should be. The applicant would like to potentially locate a marijuana growing facility on this property.

	EXISTING LAND USE	ZONING	MASTER PLAN
Subject Site	Existing 26,000 SF Industrial Building	B-3 Commercial	Commercial
North	Industrial & Commercial	B-3 Commercial	Commercial
South	Commercial	B-3 Commercial	Commercial
East	Commercial	B-3 Commercial	Commercial
West	Industrial & Commercial	B-4 General Commercial and I-1 Light Industrial	Local business and industrial

In considering any petition for an amendment to the official zoning map, the planning commission and city council shall consider the following criteria in making its findings, recommendations, and decision:

1. Consistency with the goals, policies, and future land use map of the City of Owosso Master Plan. If conditions upon which the master plan was developed (such as market factors, demographics, infrastructure, traffic and environmental issues) have changed significantly since the master plan was adopted, as determined by the city, the planning commission and council shall consider the consistency with recent development trends in the area.
Finding – While the current future land use map identifies this area as commercial, this property was previously industrial, and a marijuana grow facility would not be considered too intense for the surrounding commercial uses.
2. Compatibility of the site's physical, geological, hydrological, and other environmental features with the host of uses permitted in the proposed zoning district.
Finding – This site would be compatible with the host of uses permitted under the I-1 Zoning Classification.
3. Evidence the applicant cannot receive a reasonable return on investment through developing the property with at least one (1) use permitted under the current zoning.

Finding – To our knowledge, no evidence exists showing that the applicant could not receive a reasonable return on investment through developing the property as commercial.

4. The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.

Finding – It is our belief that land uses within the I-1 district are more compatible with this site given former industrial uses on this site and the proximity to the rail line.

5. The capacity of the city's infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety, and welfare."

Finding – There should be no issues with existing infrastructure being able to accommodate and service this site.

6. The apparent demand for the types of uses permitted in the requested zoning district in relation to the amount of land currently zoned and available to accommodate the demand.

Finding – We find that there is high demand for industrial property in Owosso for potential marijuana grow facilities. There is already an approved facility across the street on Hathaway Drive and this site makes sense to revert back to its industrial nature.

7. The request has not previously been submitted within the past one (1) year, unless conditions have changed, or new information has been provided.

Finding – This application has not been previously before the City.

Based upon the above comments, we recommend approval of the rezoning request for 108 N. Chipman based on the following items:

1. That the request is not in overwhelming conflict with the Master Plan or the Zoning Ordinance;
2. The site is compatible with uses in the proposed I-1 Zoning District;
3. The applicant is not rezoning to increase the return on investment of the property;
4. That the Planning Commission understands that the proposed use may be more compatible with surrounding land uses;
5. Infrastructure to the site is appropriate for the proposed use; and
6. The request has not been previously submitted to the City for consideration.

MOTION BY COMMISSIONER LAW SUPPORTED BY SECRETARY FEAR TO APPROVE THE REZONING OF THE FOLLOWING PROPERTY:

ADDRESS	PARCEL ID NUMBER	APPROVED REZONING
108 N CHIPMAN ST	050-660-017-001-00	I-1 LIGHT INDUSTRIAL DISTRICT

**YEAS: SECRETARY FEAR, COMMISSIONER LAW, COMMISSIONER MORRIS,
COMMISSIONER TAYLOR
NAYS: COMMISSIONER ROBERTSON, CHAIRMAN WASCHER
RCV: 4-2 MOTION CARRIED**

ITEMS OF BUSINESS: NONE

COMMISSIONER/CITIZEN COMMENTS: NONE

ADJOURNMENT:

MOTION BY COMMISSIONER MORRIS SUPPORTED BY SECRETARY FEAR TO ADJOURN AT 7:05 PM UNTIL THE NEXT MEETING ON DECEMBER 13, 2021.

YEAS ALL, MOTION CARRIED

Janae Fear, Secretary

DRAFT

11-10-2021
P2021-019

CITY OF OWOSSO, MICHIGAN
SITE PLAN REVIEW APPLICATION AND CHECKLIST

- Application must be filed at least 25 days prior to a scheduled Planning Commission meeting for staff review and proper notices.
- This application is submitted with 1 copy of the complete site plan and appropriate fees. Applicant shall also submit a digital version of the site plan.
- Accompanying any site plan required hereunder, the applicant shall provide from, a licensed engineer, soil borings at the proposed construction site to ascertain bearing capacity of foundations soils at the time of footing excavation to certify such soil conditions meet or exceed design capacity of the foundation to support the proposed structure. These requirements shall comply with policies of the City of Owosso, copies of which can be obtained from the Building Department.
- The attached checklist has been completed to certify the data contained on the site plan. If the required data has not been provided, the appropriate box has been checked with a statement of explanation on why the data has not been provided.
- I understand that if my site plan is deemed to be incomplete, it may be returned by the City for revisions without being forwarded to the Planning Commission for consideration, until such time as the requirements have been adequately met.
- By signing this application, the applicant hereby grants full authority to the City of Owosso, its agents, employees, representatives and/or appointees to enter upon the undersigned lands/parcel(s) for the purposes of inspection and examination.

Approval of the site plan is hereby requested for the following parcel(s) of land in the City of Owosso.

Application Filed On: 11-10-2021

Application Transmitted by City On:

Property Details:

1. Name of Proposed Development: 1410/1420
2. Property Street Address: 1420 Hathaway Dr Owosso, MI 48867
3. Location of Property: On the (north, south, east, west side) of Street, between South East Side
4. Legal Description of Property: SEE SITE PLAN
5. Site Area (in acres and square feet): 1.51 acres
6. Zoning Designation of Property: I-1

Ownership:

1. Name of Title/Deed Holder: HD5 Investments LLC
2. Address: 354 Westview Ave Columbus, OH 43214
3. Telephone No: 614-296-7521
4. Email address: alexander.m.close@gmail.com

Applicant:

1. Applicant (If different from owner above):

2. Address:

3. Telephone No:

4. Email address:

5. Interest in Property (potential buyer/lease holder/potential lessee/other):

Architect/Surveyor/Engineer preparing site plan:

1. Name of Individual: Jessica A Marji

2. Address: 25280 Ryan Road Warren, MI 48091

3. Telephone No: 248.390.2243

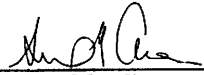
4. Email address: mcidesigngroup@gmail.com

APPLICATION FEES:

- | | |
|---|---|
| • Apartment/townhouse | • \$550.00 + \$4.50/unit |
| • Commercial/Industrial | • \$500.00 + \$50.00/acre |
| • Institutional (Schools, Public Services, Hospitals) | • \$475.00 + \$40.00/acre |
| • Mobile home park | • \$575.00 + \$5.00/unit |
| • Planned Unit Development/Mixed use development | • \$550.00 + \$50.00/acre |
| • Preliminary site plan review | • 75% of site plan review fee |
| • Single family site condo (prelim or final) | • \$700.00 + \$5.00/lot |
| • Site plan revision/review | • 75% of site plan review fee + any needed consulting fees determined by administration |
| • Site plan requiring review by city engineer | • all costs by owner/applicant via escrow |
| • Special meetings with planner/engineer | • all costs by owner/applicant via escrow |
| • Escrow Fee | • \$1,500 |

Consultant Fees for Planning, Zoning, Engineering & Related Reviews:

- To better enable the City of Owosso to provide the highest quality review services, it retains the assistance of specialized consultants on an as-needed basis. To ensure that these services do not negatively impact the City's general fund, the cost of said services is passed on to the applicants in the form of review fees and associated escrow accounts.
- A cash deposit of \$1,500.00 shall be placed with the City of Owosso to retain qualified consultants.
- The City will let the applicants know when additional funds are needed (typically when about 25% is remaining).
- Should there be funds remaining in the account after completion of the project, the balance will be remitted to the depositor.


Signature of Applicant

11/4/21

Date


Signature of Deed/Title Holder

11/4/21

Date

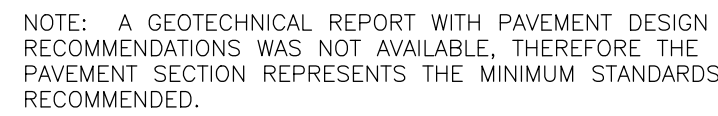
PLEASE PROVIDE AN OVERVIEW OF THE PROJECT:

60' wide by 127' long by 17' high, agricultural post frame building Located at SouthEast corner of property

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.



NO SCALE



CONCRETE SHALL BE 3500 PSI

NO SCALE



NO SCALE



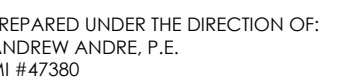
NO SCALE



NO SCALE



NO SCALE



APPLICANT:
ALEXANDER CLOSE

**MARIJUANA CULTIVATION
FACILITY**
1420 HATHAWAY DR.
OWOSSO, MI 48867

[illegible]

HART DEVELOPMENT GROUP, LLC AND AFFILIATES

DATE :
DRAWN : ACA
CHECKED : ACA
SCALE : NO SCALE
JOB NO : 2021-139

SHEET TITLE :
SITE DETAILS
SHEET

C1.1

ADG

Avanti Development Group, LLC

330 Enterprise Ct.
Bloomfield Hills, MI 48302
(PH) 810.444.7815

PREPARED UNDER THE DIRECTION OF:
ANDREW ANDRE, P.E.
MI #42385

APPLICANT:
ALEXANDER CLOSE

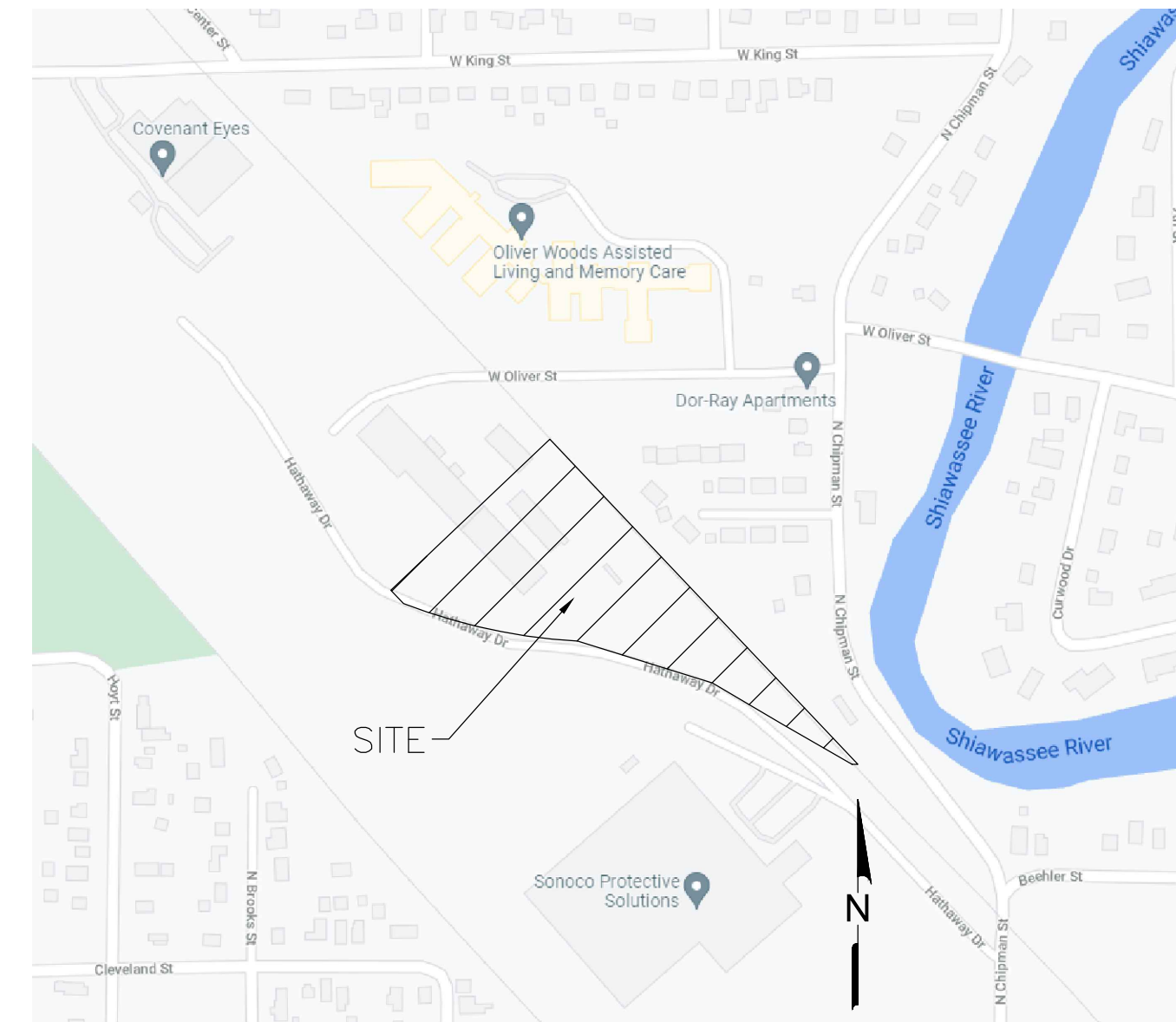
MARIJUANA CULTIVATION
FACILITY
1420 HATHAWAY DR.
OWOSSO, MI 48867

WE HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF. WE FURTHER CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS NOT A REPRODUCTION OF ANY OTHER DOCUMENT. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF ADG. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF ADG. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF ADG.

ISSUED FOR DATE
SPAS/SLU 11/24/21

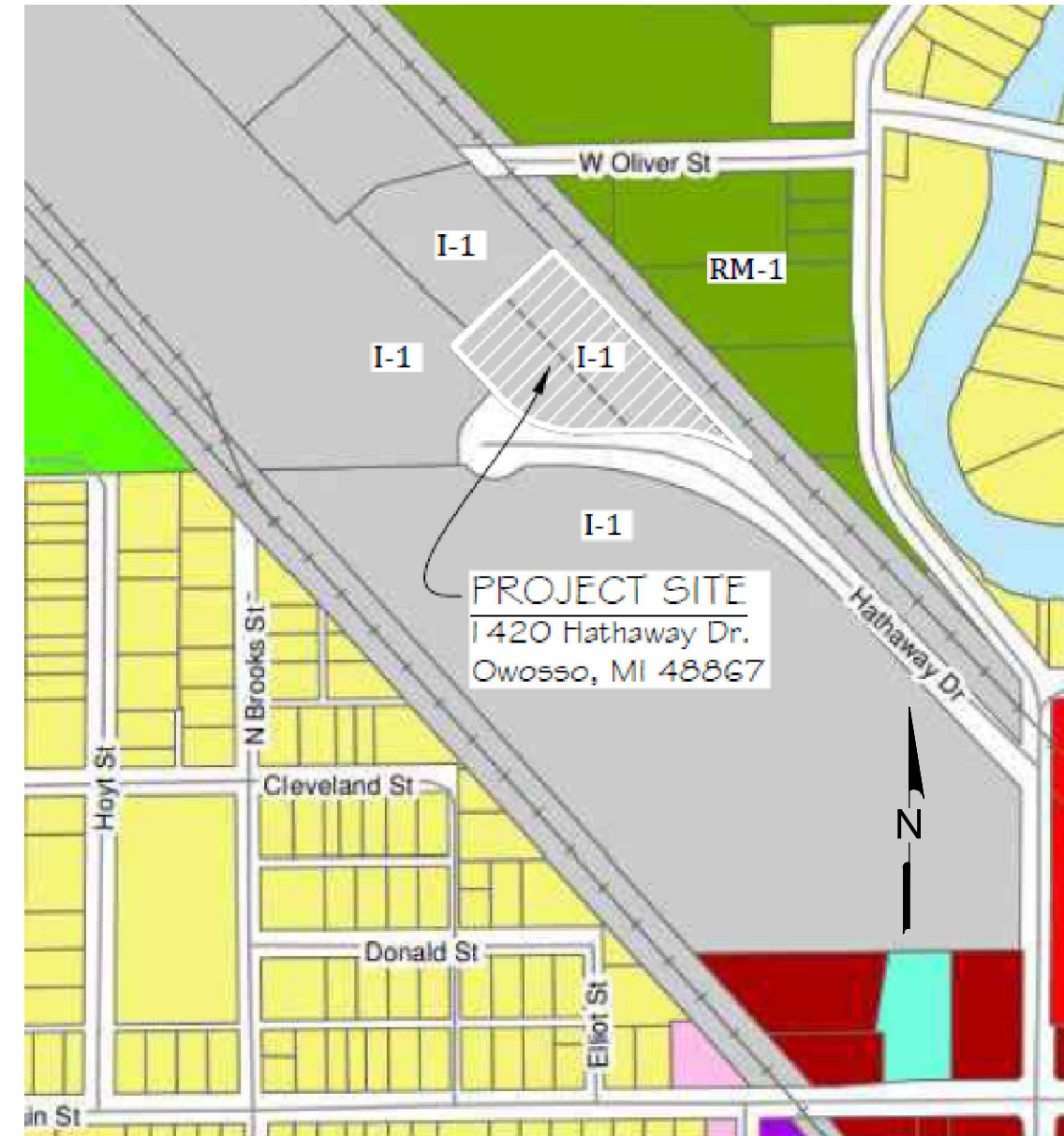
DATE:
DRAWN: ACA
CHECKED: ACA
SCALE: 1"=30'
JOB NO: 2021-139
SHEET TITLE:
SURVEY PLAN
SHEET

C2.0



VICINITY MAP
SCALE: NO SCALE

EAST 1/4 CORNER
SECTION 14
T7N, R2E



CITY OF OWOSSO
ZONING MAP EXCERPT
SCALE: NO SCALE

UTILITY CONTACTS

TELEPHONE
AT&T
C/O ENGINEERING DEPARTMENT
ROOM 525A
309 S. WASHINGTON AVE.
SAGINAW, MICHIGAN 48607
(989) 776-4070

GAS AND ELECTRIC
CONSUMERS ENERGY
2400 WEISS STREET
SAGINAW, MICHIGAN 48602
(989) 791-5903

ZONING
CITY OF OWOSSO
ZONING & PLANNING
301 W. MAIN STREET
OWOSSO, MICHIGAN 48867
(989) 725-0559

WATER/SEWER
CITY OF OWOSSO
WATER AND SEWER SERVICES
301 W. MAIN STREET
OWOSSO, MICHIGAN 48867
(989) 725-0550

FLOODPLAIN INFORMATION

CITY OF OWOSSO
SHIAWASSEE COUNTY, MICHIGAN
MAP NUMBER: 28155C0139C
EFFECTIVE DATE: 09/29/2011
FLOOD ZONE: AREA OF MINIMAL FLOOD HAZARD (FIRM MAP)

ZONING INFORMATION

ZONED: CC (COMMERCIAL COMMUNITY)
SETBACKS:
FRONT: - 75'
REAR: - 30'
SIDE: - 30' TOTAL OF 60'

BENCHMARKS

BM #1 - ARROW ON HYDRANT LOCATED NEAR ENTRANCE TO
1420 HATHAWAY DRIVE
ELEV. 749.38 NAVD 88

SURVEYOR NOTES

- HORIZONTAL DATUM - MICHIGAN STATE PLANE, MI SOUTH ZONE, NAD 83; VERTICAL DATUM - NAVD 88 VERTICAL DATUM - GPS DERIVED.
- SITE BENCHMARK - ARROW ON TOP OF HYDRANT AT DRIVE ENTRANCE FOR 1410 HATHAWAY DRIVE. ELEVATION = 749.38'
- THE PROPERTY LINES SHOWN HEREON ARE NOT THE RESULT OF A BOUNDARY SURVEY BUT ARE REFERENCED FROM LANDMARK SURVEYING BOUNDARY JOB NO. 26763
- NO TITLE COMMITMENT WAS PROVIDED FOR THIS SURVEY SO THE LOCATION OF AN EASEMENTS ENCUMBERING THE PROPERTY ARE UNKNOWN.
- THIS SITE WAS NOT FLAGGED BY MISS DIG AS OF THE DATE OF THE FIELD SURVEY, ANY UTILITIES PLOTTED HEREON WERE TAKEN FROM UTILITY PLANS PROVIDED BY THE CITY OF OWOSSO AND OBSERVED EVIDENCE. MISS DIG MUST BE CALLED FOR UTILITY LOCATING PRIOR TO EXCAVATION.

SURVEY LEGEND:

- Section corner
- Found LANDMARK BAR & CAP
- Set Bar & Cap #53090
- Boundary line
- Gas line
- Underground Electric
- Overhead Electric
- Water line
- Underground Fiber/Telephone
- 12" STM - Storm line
- 12" SAN - Sanitary line
- Fence line
- Guardrail
- Tree line
- Wetland
- Measured Distance
- Recorded Distance
- BHCB - Beehive catchbasin
- Benchmark
- Catchbasin
- Storm Manhole
- Flatpot Catchbasin
- Sanitary Manhole
- Sanitary Cleanout
- Hydrant
- Water Valve
- Water Shut Off
- Water Manhole
- Well
- Gas Valve
- Gas Meter
- Sign
- Mailbox
- Soil Boring
- Electric Meter
- Electric Manhole
- Transformer
- Utility Pole
- Guy Pole
- Guy Wire
- Light Pole
- Telephone Manhole
- Telephone Pedestal
- AC Unit
- Past
- Monitoring Well
- Deciduous Tree
- Coniferous Tree
- Shrub/Bush

- FTCB = Flatpot catchbasin
- Electric Meter
- Electric Manhole
- Transformer
- Utility Pole
- Guy Pole
- Guy Wire
- Light Pole
- Telephone Manhole
- Telephone Pedestal
- AC Unit
- Past
- Monitoring Well
- Deciduous Tree
- Coniferous Tree
- Shrub/Bush

SURVEY PROVIDED BY:

D. L. THELEN

Land Surveying & Mapping, LLC

dithelensurveying@gmail.com

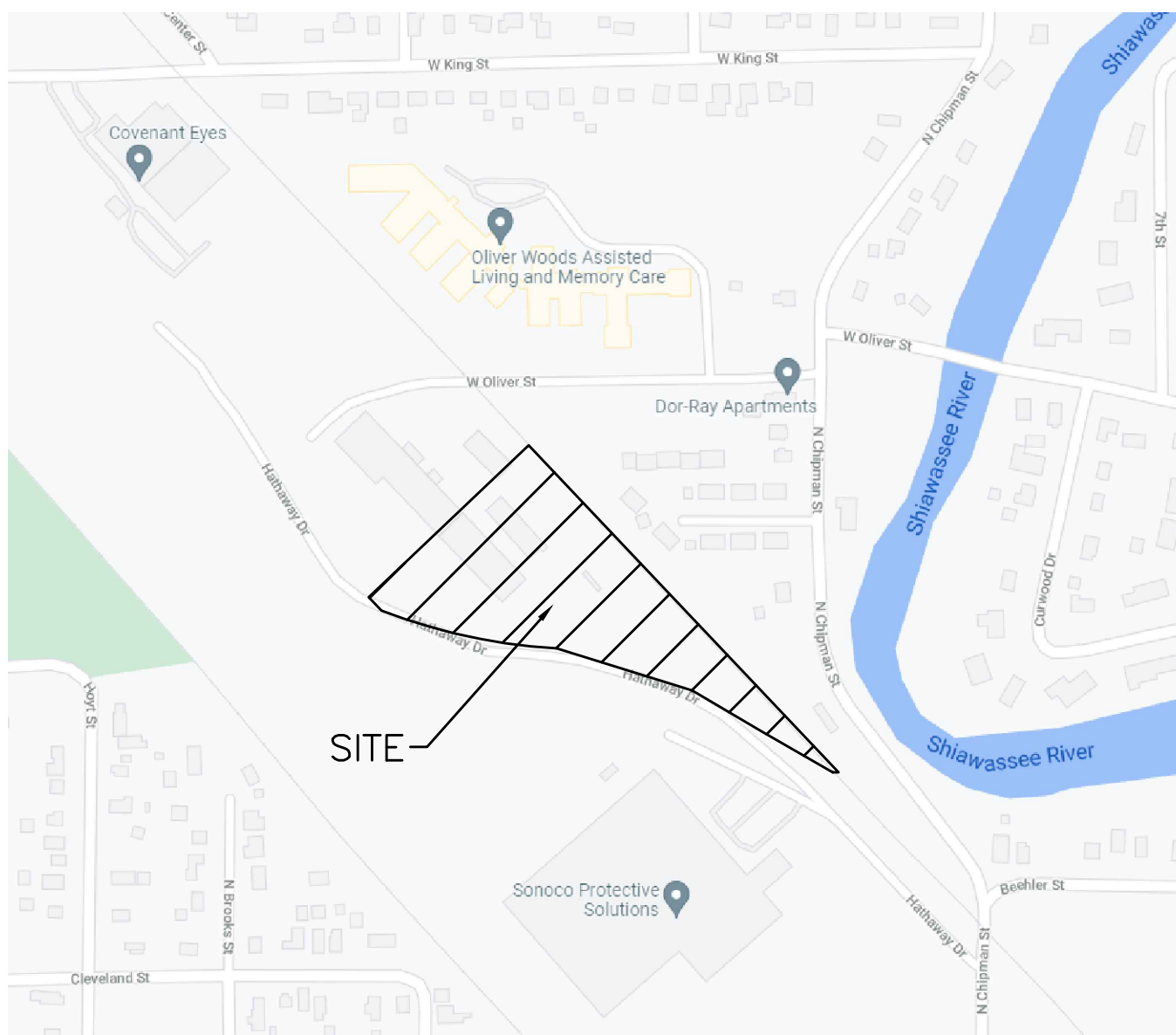
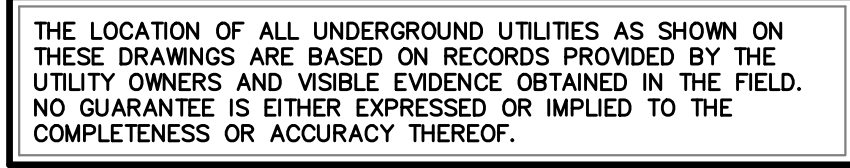
Lansing, MI 48917
(517) 449-8330

0' 30' 60' 90'
SCALE: 1" = 30'



Know what's below.
Call before you dig.

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.



VICINITY MAP
SCALE: NO SCALE

1. REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION, OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
4. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING.
5. DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED.
6. ALL PAVING MATERIALS AND OPERATIONS SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
7. PARKING STALL SPACES TO BE 4" SOLID WHITE PAINT STRIPES. HANDICAP PARKING TO BE 4" SOLID BLUE PAINT STRIPES W/ BARRIER FREE STRIPPING OF 4" SOLID BLUE @ 2' OC. ON 5' W/ANGLE.
8. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF OWASSO STANDARDS AND SPECIFICATIONS.

ZONING:
I-1 (LIGHT INDUSTRIAL)

LAND USE:
PROPOSED LAND USE IS MARIJUANA CULTIVATION

PARKING DATA:
REQUIRED =
A MINIMUM OF FIVE (5), PLUS ONE (1) FOR EACH 1.2 OFFICE
EMPLOYEES AND ONE (1) FOR EACH 2.3 FACTORY EMPLOYEES IN
THE LARGEST WORKING SHIFT <OR> ONE (1) FOR EVERY FIVE
HUNDRED FIFTY (550) SQUARE FEET OF USABLE FLOOR SPACE,
OR WHICHEVER IS DETERMINED TO BE THE GREATER.

OCCUPANCY = 16 (PER MBC TABLE 1004.1.2)
EMPLOYEES = 16 (2 OFFICE, 14 FACTORY)
REQUIRED = 5 + 2 + (14/2.3) = 11 SPACES

USABLE FLOOR SPACE = 4,730 S.F.
REQUIRED = 4,730 / 550 = 9 SPACES

REQUIRED = 11 SPACES

- ☐ BITUMINOUS PAVEMENT
- ☐ CONCRETE PAVEMENT

TRAFFIC CONTROL SIGN TABLE	
DESCRIPTION	MMUTCD
HANDICAP (VAN)	R7-8P

ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT
MMUTCD STANDARDS

330 Enterprise Ct.
Bloomfield Hills, MI 48302
(PH) 810.444.7815



PREPARED UNDER THE DIRECTION OF:
ANDREW ANDRE, P.E.
MJ #47380

APPLICANT:
ALEXANDER CLOSE

**MARIJUANA CULTIVATION
FACILITY**
1420 HATHAWAY DR.
OWOSSO, MI 48867

NAME: _____
 STATE: _____
 ADDRESS: _____
 CITY: _____
 ZIP: _____
 PHONE: _____
 FAX: _____
 E-MAIL: _____
 I, _____, hereby authorize _____ to execute this agreement on my behalf.

ISSUED FOR	DATE
------------	------

DATE : _____

DRAWN : ACA

CHECKED: ACA

SCALE : 1"=30'

JOB NO : 2021-139

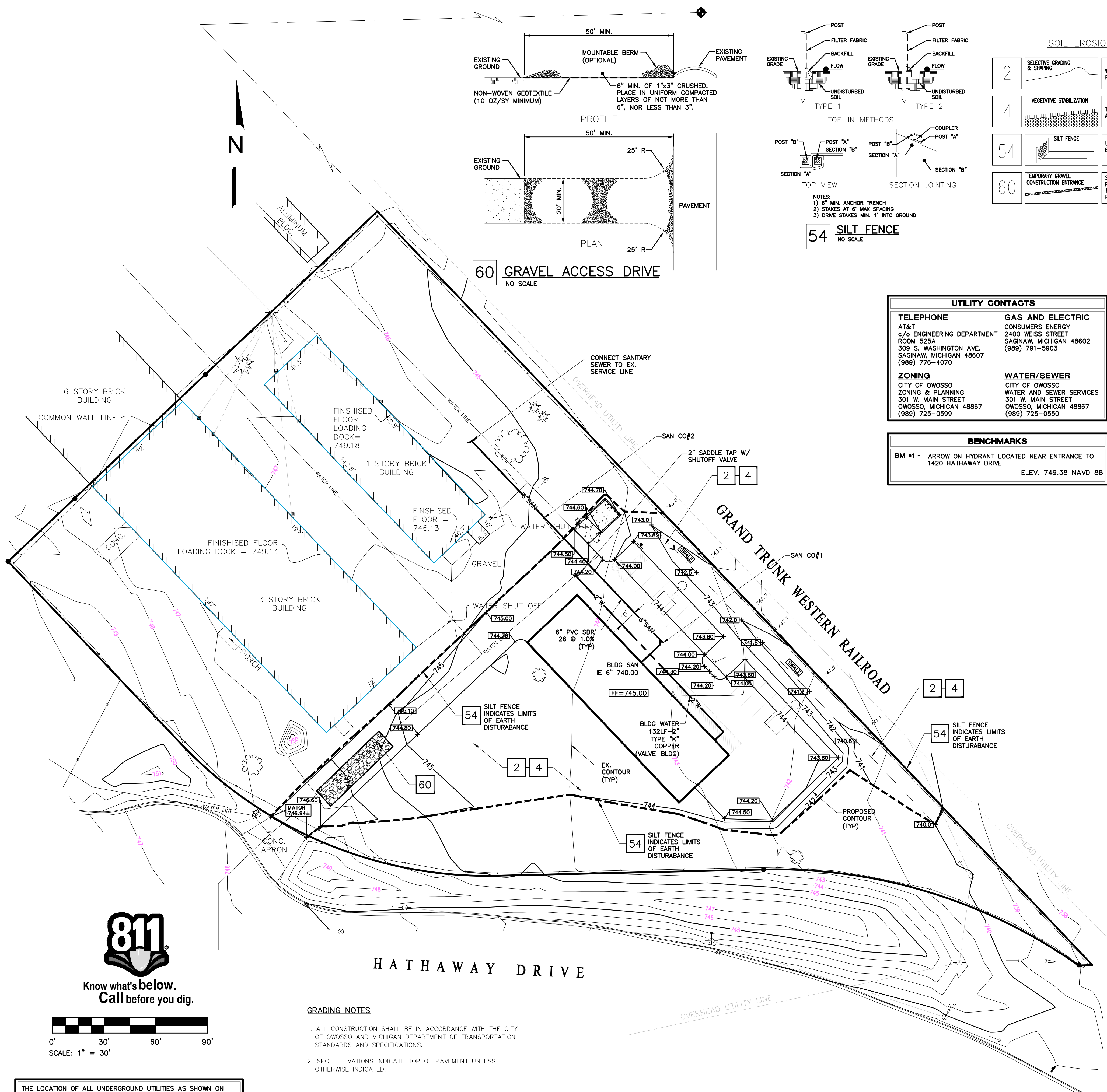
SHEET TITLE :
SITE LAYOUT AND
PAVING PLAN
SHEET

C3.0



Know what's **below**.
Call before you dig.





Know what's below.
Call before you dig.

0' 30' 60' 90'

SCALE: 1" = 30'

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

SOIL EROSION CONTROL MEASURES

2	SELECTIVE GRADING & SHAPING	WATER CAN BE DIVERTED TO MINIMIZE EROSION FLATTER SLOPES EASE EROSION PROBLEMS
4	VEGETATIVE STABILIZATION	TEMPORARY AND PERMANENT SEED APPLICATIONS
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.
60	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE	STABILIZES SOIL SURFACES, THUS MINIMIZING EROSION PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS

TOE-IN METHODS

TYPE 1

TYPE 2

SECTION "A"

SECTION "B"

SECTION "C"

SECTION "D"

SECTION "E"

SECTION "F"

SECTION "G"

SECTION "H"

SECTION "I"

SECTION "J"

SECTION "K"

SECTION "L"

SECTION "M"

SECTION "N"

SECTION "O"

SECTION "P"

SECTION "Q"

SECTION "R"

SECTION "S"

SECTION "T"

SECTION "U"

SECTION "V"

SECTION "W"

SECTION "X"

SECTION "Y"

SECTION "Z"

SECTION "AA"

SECTION "AB"

SECTION "AC"

SECTION "AD"

SECTION "AE"

SECTION "AF"

SECTION "AG"

SECTION "AH"

SECTION "AI"

SECTION "AJ"

SECTION "AK"

SECTION "AL"

SECTION "AM"

SECTION "AN"

SECTION "AO"

SECTION "AP"

SECTION "AQ"

SECTION "AR"

SECTION "AS"

SECTION "AT"

SECTION "AU"

SECTION "AV"

SECTION "AW"

SECTION "AX"

SECTION "AY"

SECTION "AZ"

SECTION "BA"

SECTION "BB"

SECTION "BC"

SECTION "BD"

SECTION "BE"

SECTION "BF"

SECTION "BG"

SECTION "BH"

SECTION "BI"

SECTION "BJ"

SECTION "BK"

SECTION "BL"

SECTION "BM"

SECTION "BN"

SECTION "BO"

SECTION "BP"

SECTION "BQ"

SECTION "BR"

SECTION "BS"

SECTION "BT"

SECTION "BU"

SECTION "BV"

SECTION "BW"

SECTION "BX"

SECTION "BY"

SECTION "BZ"

SECTION "CA"

SECTION "CB"

SECTION "CC"

SECTION "CD"

SECTION "CE"

SECTION "CF"

SECTION "CG"

SECTION "CH"

SECTION "CI"

SECTION "CJ"

SECTION "CK"

SECTION "CL"

SECTION "CM"

SECTION "CN"

SECTION "CO"

SECTION "CP"

SECTION "CQ"

SECTION "CR"

SECTION "CS"

SECTION "CT"

SECTION "CU"

SECTION "CV"

SECTION "CW"

SECTION "CX"

SECTION "CY"

SECTION "CZ"

SECTION "DA"

SECTION "DB"

SECTION "DC"

SECTION "DD"

SECTION "DE"

SECTION "DF"

SECTION "DG"

SECTION "DH"

SECTION "DI"

SECTION "DJ"

SECTION "DK"

SECTION "DL"

SECTION "DM"

SECTION "DN"

SECTION "DO"

SECTION "DP"

SECTION "DQ"

SECTION "DR"

SECTION "DS"

SECTION "DT"

SECTION "DU"

SECTION "DV"

SECTION "DW"

SECTION "DX"

SECTION "DY"

SECTION "DZ"

SECTION "EA"

SECTION "EB"

SECTION "EC"

SECTION "ED"

SECTION "EE"

SECTION "EF"

SECTION "EG"

SECTION "EH"

SECTION "EI"

SECTION "EJ"

SECTION "EK"

SECTION "EL"

SECTION "EM"

SECTION "EN"

SECTION "EO"

SECTION "EP"

SECTION "EQ"

SECTION "ER"

SECTION "ES"

SECTION "ET"

SECTION "EU"

SECTION "EV"

SECTION "EW"

SECTION "EX"

SECTION "EY"

SECTION "EZ"

SECTION "FA"

SECTION "FB"

SECTION "FC"

SECTION "FD"

SECTION "FE"

SECTION "FF"

SECTION "FG"

SECTION "FH"

SECTION "FI"

SECTION "FJ"

SECTION "FK"

SECTION "FL"

SECTION "FM"

SECTION "FN"

SECTION "FO"

SECTION "FP"

SECTION "FQ"

SECTION "FR"

SECTION "FS"

SECTION "FT"

SECTION "FU"

SECTION "FV"

SECTION "FW"

SECTION "FX"

SECTION "FY"

SECTION "FZ"

SECTION "GA"

SECTION "GB"

SECTION "GC"

SECTION "GD"

SECTION "GE"

SECTION "GF"

SECTION "GG"

SECTION "GH"

SECTION "GI"

SECTION "GJ"

SECTION "GK"

SECTION "GL"

SECTION "GM"

SECTION "GN"

SECTION "GO"

SECTION "GP"

SECTION "GQ"

SECTION "GR"

SECTION "GS"

SECTION "GT"

SECTION "GU"

SECTION "GV"

SECTION "GW"

SECTION "GX"

SECTION "GY"

SECTION "GZ"

SECTION "HA"

SECTION "HB"

SECTION "HC"

SECTION "HD"

SECTION "HE"

SECTION "HF"

SECTION "HG"

SECTION "HH"

SECTION "HI"

SECTION "HJ"

SECTION "HK"

SECTION "HL"

SECTION "HM"

SECTION "HN"

SECTION "HO"

SECTION "HP"

SECTION "HQ"

SECTION "HR"

SECTION "HS"

SECTION "HT"

SECTION "HU"

SECTION "HV"

SECTION "HW"

SECTION "HX"

SECTION "HY"

SECTION "HZ"

SECTION "IA"

SECTION "IB"

SECTION "IC"

SECTION "ID"

SECTION "IE"

SECTION "IF"

SECTION "IG"

SECTION "IH"

SECTION "II"

SECTION "IJ"

SECTION "IK"

SECTION "IL"

SECTION "IM"

SECTION "IN"

SECTION "IO"

SECTION "IP"

SECTION "IQ"

SECTION "IR"

SECTION "IS"

SECTION "IT"

SECTION "IU"

SECTION "IV"

SECTION "IW"

SECTION "IX"

SECTION "IY"

SECTION "IZ"

SECTION "JA"

SECTION "JB"

SECTION "JC"

SECTION "JD"

SECTION "JE"

SECTION "JF"

SECTION "JG"

SECTION "JH"

SECTION "JI"

SECTION "JJ"

SECTION "JK"

SECTION "JL"

SECTION "JM"

SECTION "JN"

SECTION "JO"

SECTION "JP"

SECTION "JQ"

SECTION "JR"

SECTION "JS"

SECTION "JT"

SECTION "JU"

SECTION "JV"

SECTION "JW"

SECTION "JX"

SECTION "JY"

SECTION "JZ"

SECTION "KA"

SECTION "KB"

SECTION "KC"

SECTION "KD"

SECTION "KE"

SECTION "KF"

SECTION "KG"

SECTION "KH"

SECTION "KI"

SECTION "KJ"

SECTION "KK"

SECTION "KL"

SECTION "KM"

SECTION "KN"

SECTION "KO"

SECTION "KP"

SECTION "KQ"

SECTION "KR"

SECTION "KS"

SECTION "KT"

SECTION "KU"

SECTION "KV"

SECTION "KW"

SECTION "KX"

SECTION "KY"

SECTION "KZ"

SECTION "LA"

SECTION "LB"

SECTION "LC"

SECTION "LD"

SECTION "LE"

SECTION "LF"

SECTION "LG"

SECTION "LH"

SECTION "LI"

SECTION "LJ"

SECTION "LK"

SECTION "LL"

SECTION "LM"

SECTION "LN"

SECTION "LO"

SECTION "LP"

SECTION "LQ"

SECTION "LR"

SECTION "LS"

SECTION "LT"

SECTION "LU"

SECTION "LV"

SECTION "LW"

SECTION "LX"

SECTION "LY"

SECTION "LZ"

SECTION "MA"

SECTION "MB"

SECTION "MC"

SECTION "MD"

SECTION "ME"

SECTION "MF"

SECTION "MG"

SECTION "MH"

SECTION "MI"

SECTION "MJ"

SECTION "MK"

SECTION "ML"

SECTION "MM"

SECTION "MN"

SECTION "MO"

SECTION "MP"

SECTION "MQ"

SECTION "MR"

SECTION "MS"

SECTION "MT"

SECTION "MU"

SECTION "MV"

SECTION "MW"

SECTION "MX"

SECTION "MY"

SECTION "MZ"

SECTION "NA"

SECTION "NB"

SECTION "NC"

SECTION "ND"

SECTION "NE"

SECTION "NF"

SECTION "NG"

SECTION "NH"

SECTION "NI"

SECTION "NJ"

SECTION "NK"

SECTION "NL"

SECTION "NM"

SECTION "NN"

SECTION "NO"

SECTION "NP"

SECTION "NQ"

SECTION "NR"

SECTION "NS"

SECTION "NT"

SECTION "NU"

SECTION "NV"

SECTION "NW"

SECTION "NX"

SECTION "NY"

SECTION "NZ"

SECTION "OA"

SECTION "OB"

SECTION "OC"

SECTION "OD"

SECTION "OE"

SECTION "OF"

SECTION "OG"

SECTION "OH"

SECTION "OI"

SECTION "OJ"

SECTION "OK"

SECTION "OL"

SECTION "OM"

SECTION "ON"

SECTION "OO"

SECTION "OP"

SECTION "OQ"

SECTION "OR"

SECTION "OS"

SECTION "OT"

SECTION "OU"

SECTION "OV"

SECTION "OW"

SECTION "OX"

SECTION "OY"

SECTION "OZ"

SECTION "PA"

SECTION "PB"

SECTION "PC"

SECTION "PD"

SECTION "PE"

SECTION "PF"

SECTION "PG"

SECTION "PH"

SECTION "PI"

SECTION "PJ"

SECTION "PK"

SECTION "PL"

SECTION "PM"

SECTION "PN"

SECTION "PO"

SECTION "PP"

SECTION "PQ"

SECTION "PR"

SECTION "PS"

SECTION "PT"

SECTION "PU"

SECTION "PV"

SECTION "PW"

SECTION "PX"

SECTION "PY"

SECTION "PZ"

SECTION "QA"

SECTION "QB"

SECTION "QC"

SECTION "QD"

SECTION "QE"

SECTION "QF"

SECTION "QG"

SECTION "QH"

SECTION "QI"

SECTION "QJ"

SECTION "QK"

SECTION "QL"

SECTION "QM"

SECTION "QN"

SECTION "QO"

SECTION "QP"

SECTION "QQ"

SECTION "QR"

SECTION "QS"

SECTION "QT"

SECTION "QU"

SECTION "QV"

SECTION "QW"

SECTION "QX"

SECTION "QY"

SECTION "QZ"

SECTION "RA"

SECTION "RB"

SECTION "RC"

SECTION "RD"

SECTION "RE"

SECTION "RF"

SECTION "RG"

SECTION "RH"

SECTION "RI"

SECTION "RJ"

SECTION "RK"

SECTION "RL"

SECTION "RM"

SECTION "RN"

SECTION "RO"

SECTION "RP"

SECTION "RQ"

SECTION "RR"

SECTION "RS"

SECTION "RT"

SECTION "RU"

SECTION "RV"

SECTION "RW"

SECTION "RX"

SECTION "RY"

SECTION "RZ"

SECTION "SA"

SECTION "SB"

SECTION "SC"

SECTION "SD"

SECTION "SE"

SECTION "SF"

SECTION "SG"

SECTION "SH"

SECTION "SI"

SECTION "SJ"

SECTION "SK"

SECTION "SL"

SECTION "SM"

SECTION "SN"

SECTION "SO"

SECTION "SP"

SECTION "SQ"

SECTION "SR"

SECTION "SS"

SECTION "ST"

SECTION "SU"

SECTION "SV"

SECTION "SW"

SECTION "SX"

SECTION "SY"

SECTION "SZ"

SECTION "TA"

SECTION "TB"

SECTION "TC"

SECTION "TD"

SECTION "TE"

SECTION "TF"

SECTION "TG"

SECTION "TH"

SECTION "TI"

SECTION "TJ"

SECTION "TK"

SECTION "TL"

SECTION "TM"

SECTION "TN"

SECTION "TO"

SECTION "TP"

SECTION "TQ"

SECTION "TR"

SECTION "TS"

SECTION "TT"

SECTION "TU"

SECTION "TV"

SECTION "TW"

SECTION "TX"

SECTION "TY"

SECTION "TZ"

SECTION "UA"

SECTION "UB"

SECTION "UC"

SECTION "UD"

SECTION "UE"

SECTION "UF"

SECTION "UG"

SECTION "UH"

SECTION "UI"

SECTION "UJ"

SECTION "UK"

SECTION "UL"

SECTION "UM"

SECTION "UN"

SECTION "UO"

SECTION "UP"

SECTION "UQ"

SECTION "UR"

SECTION "US"

SECTION "UT"

SECTION "UU"

SECTION "UV"

SECTION "UW"

SECTION "UX"

SECTION "UY"

SECTION "UZ"

SECTION "VA"

SECTION "VB"

SECTION "VC"

SECTION "VD"

SECTION "VE"

SECTION "VF"

SECTION "VG"

SECTION "VH"

SECTION "VI"

SECTION "VJ"

SECTION "VK"

SECTION "VL"

SECTION "VM"

SECTION "VN"

SECTION "VO"

SECTION "VP"

SECTION "VQ"

SECTION "VR"

SECTION "VS"

SECTION "VT"

SECTION "VU"

SECTION "VV"

SECTION "VW"

SECTION "VX"

SECTION "VY"

SECTION "VZ"

SECTION "WA"

SECTION "WB"

SECTION "WC"

SECTION "WD"

SECTION "WE"

SECTION "WF"

SECTION "WG"

SECTION "WH"

SECTION "WI"

SECTION "WJ"

SECTION "WK"

SECTION "WL"

SECTION "WM"

SECTION "WN"

SECTION "WO"

SECTION "WP"

SECTION "WQ"

SECTION "WR"

SECTION "WS"

SECTION "WT"

SECTION "WU"

SECTION "WV"

SECTION "WW"

SECTION "WX"

SECTION "WY"

SECTION "WZ"

SECTION "XA"

SECTION "XB"

SECTION "XC"

SECTION "XD"

SECTION "XE"

SECTION "XF"

SECTION "XG"

SECTION "XH"

SECTION "XI"

SECTION "XJ"

SECTION "XK"

SECTION "XL"

SECTION "XM"

SECTION "XN"

SECTION "XO"

SECTION "XP"

SECTION "XQ"

SECTION "XR"

SECTION "XS"

SECTION "XT"

SECTION "XU"

SECTION "XV"

SECTION "XW"

SECTION "XX"

SECTION "XY"

SECTION "XZ"

SECTION "YA"

SECTION "YB"

SECTION "YC"

SECTION "YD"

SECTION "YE"

SECTION "YF"

SECTION "YG"

SECTION "YH"

SECTION "YI"

SECTION "YJ"

SECTION "YK"

SECTION "YL"

SECTION "YM"

SECTION "YN"

SECTION "YO"

SECTION "YP"

SECTION "YQ"

SECTION "YR"

SECTION "YS"

SECTION "YT"

SECTION "YU"

SECTION "YV"

SECTION "YW"

SECTION "YX"

SECTION "YY"

SECTION "YZ"

SECTION "ZA"

SECTION "ZB"

SECTION "ZC"

SECTION "ZD"

SECTION "ZE"

SECTION "ZF"

SECTION "ZG"

SECTION "ZH"

SECTION "ZI"

SECTION "ZJ"

SECTION "ZK"

SECTION "ZL"

SECTION "ZM"

SECTION "ZN"

SECTION "ZO"

SECTION "ZP"

SECTION "ZQ"

SECTION "ZR"

SECTION "ZS"

SECTION "ZT"

SECTION "ZU"

SECTION "ZV"

SECTION "ZW"

SECTION "ZX"

SECTION "ZY"

SECTION "ZZ"

NOTES:

- 1) 6" MIN. ANCHOR TRENCH
- 2) STAKES AT 6' MAX SPACING
- 3) DRIVE STAKES MIN. 1' INTO GROUND

54 SILT FENCE NO SCALE

UTILITY CONTACTS

TELEPHONE	GAS AND ELECTRIC
AT&T	CONSUMERS ENERGY
6/6 ENGINEERING DEPARTMENT	2400 WEISS STREET
ROOM 525A	SAGINAW, MICHIGAN 48602
309 S. WASHINGTON AVE.	(989) 791-5903
SAGINAW, MICHIGAN 48607	
(989) 776-4070	
ZONING	WATER/SEWER
CITY OF OWOSSO	CITY OF OWOSSO
ZONING & PLANNING	WATER AND SEWER SERVICES
301 W. MAIN STREET	301 W. MAIN STREET
OWOSSO, MICHIGAN 48867	OWOSSO, MICHIGAN 48867
(989) 725-0599	(989) 725-0550

BENCHMARKS

BM #1 - ARROW ON HYDRANT LOCATED NEAR ENTRANCE TO 1420 HATHAWAY DRIVE

ELEV. 749.38 NAVD 88

UTILITY GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF OWOSSO WATER AND SANITARY STANDARDS AND SPECIFICATIONS.
2. SHOP DRAWINGS SHALL BE SUBMITTED BY THE UNDERGROUND CONTRACTOR FOR ALL WATER AND STORM INSTALLATION.
3. CONTRACTOR SHALL SUBMIT RECORD "AS-BUILT" PLANS AFTER CONSTRUCTION.
4. MAINTAIN A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND ANY OTHER UTILITY OF 10'-FEET. THE MINIMUM VERTICAL CLEARANCE BETWEEN A WATER MAIN AND A SEWER SHALL BE 18-INCHES.
5. NO GROUNDWATER, STORM WATER, CONSTRUCTION WATER, DOWNSPOUT DRAINAGE OR WEEP TILE DRAINAGE SHALL BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.
6. REFER TO PLUMBING PLANS TO VERIFY BUILDING UTILITY CONNECTION LOCATIONS. SITE UTILITY LOCATIONS TO TERMINATE 5' OUTSIDE OF BUILDING.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION, OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
9. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING.
10. DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED.
11. SANITARY CLEANOUT ASSEMBLIES TO BE EJIW 1570Z, OR OTHERWISE APPROVED EQUAL.
12. THE LOCATION AND SIZE OF THE FRANCHISE UTILITY SERVICES SHALL BE DESIGNED AND INSTALLED BY THE UTILITY COMPANY.
13. WATER MAIN SHALL HAVE A MINIMUM OF 5'-FOOT COVER FROM THE FINISHED GRADE TO THE TOP OF PIPE, UNLESS OTHERWISE INDICATED.
14. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ALL FINDINGS TO ENGINEER.

CONSTRUCTION SEQUENCE

1. PROVIDE EROSION CONTROL MEASURES THAT WILL BE USED AS PART OF THIS WORK. INSTALL ADDITIONAL MEASURES AS REQUIRED BY THESE DRAWINGS AND AS FIELD.
2. REMOVE PAVEMENT AND THE INDICATED UTILITY STRUCTURES FULL-DEPTH. REMOVE TREES, SHRUBS, STUMPS AND ROOT SYSTEMS TO MINIMUM DEPTH OF 42" AND LEGALLY DISPOSE OFF-SITE. PROTECT TREES TO REMAIN WITH CONSTRUCTION FENCING PLACED AROUND PERIPHERY OF TREE DRIP-LINE.
3. IMPLEMENT TEMPORARY SOIL EROSION CONTROL MEASURES, INCLUDING SILT FENCE INSTALLATION AND GRAVEL ACCESS DRIVE.
4. STRIP TOPSOIL AND STOCKPILE.
5. BEGIN FOUNDATION INSTALLATION.
6. INSTALL SANITARY SEWER AND WATERMAIN.
7. INSTALL ALL OTHER UTILITIES.
8. INSTALL ALL PAVEMENT.
9. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. RESTORATION OF ALL CUT AND FILL SLOPES SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING.
10. DAILY, OR AS REQUIRED, CONSTRUCT AND MAINTAIN TEMPORARY BERMS, DRAINS, SILT FENCE, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
11. COMPLETE INSTALLATION OF PERMANENT EROSION CONTROL MEASURES, INCLUDING RESTORATION OPERATIONS. PERFORM PAVEMENT INSTALLATION.
12. FINISH GRADE, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION ON ALL DISTURBED GROUND AREAS.
13. CLEAN PAVEMENT AND STORM SEWERS OF ALL SEDIMENT.
14. REMOVE SOIL EROSION CONTROL MEASURES AFTER PERMANENT VEGETATION HAS BEEN ESTABLISHED.
15. INSTALL LANDSCAPING.
16. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT.

VICINITY MAP

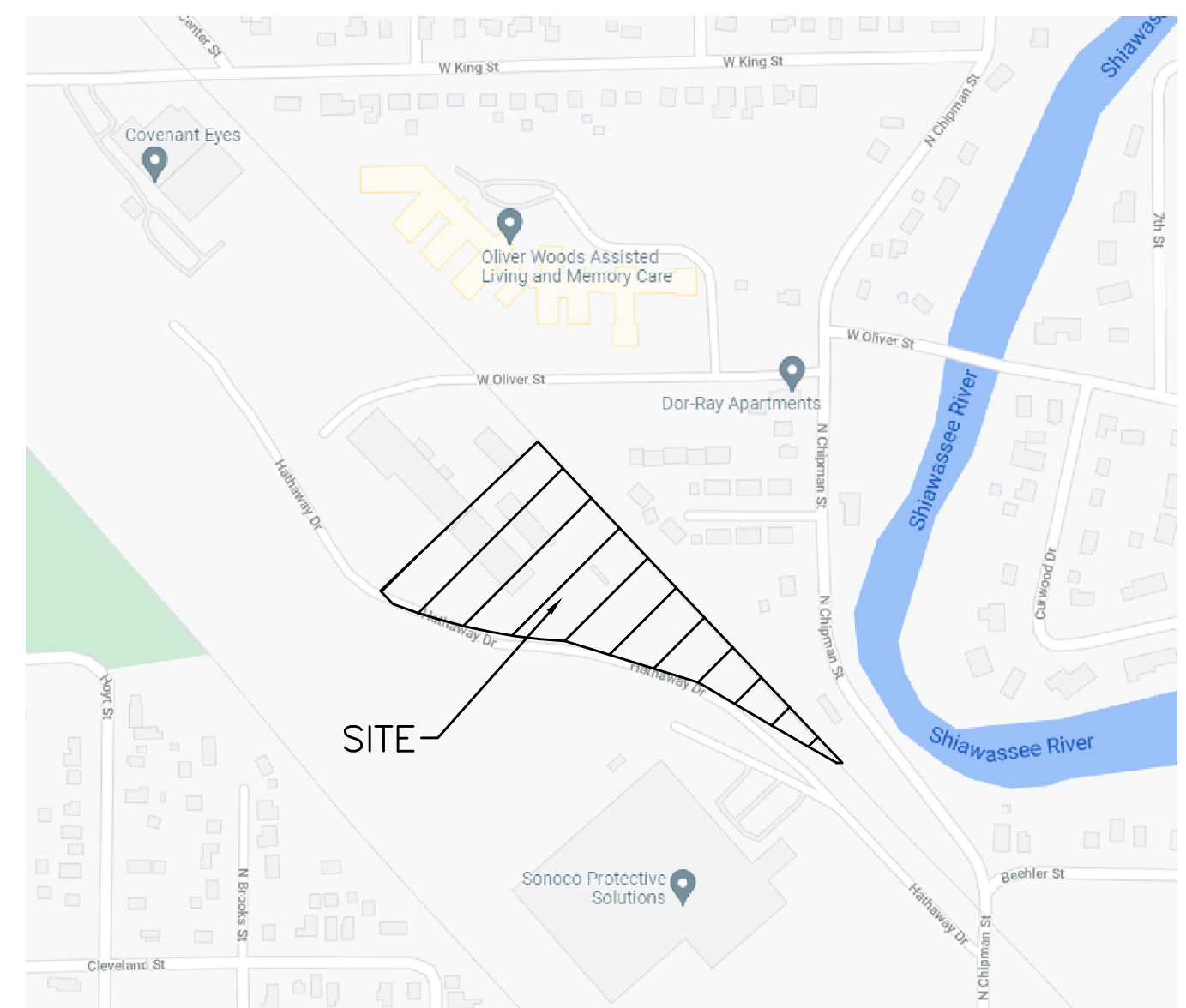
SCALE: NO SCALE

MAINTENANCE NOTES

1. SOIL STOCKPILES PERIODIC INSPECTIONS SHOULD BE DONE TO ENSURE EXCESSIVE EROSION HAS NOT OCCURRED. IF RUNOFF OR WIND EROSION HAS OCCURRED, REDUCE THE SIDE SLOPES OF THE SPOIL PILE, OR RE-STABILIZE THE STOCKPILE BY PROVIDING TEMPORARY SEEDING.
2. DUST CONTROL TO PREVENT DUST FROM BECOMING A PUBLIC NUISANCE AND CAUSING OFF-SITE DAMAGES, DUST CONTROL SHOULD BE ONGOING DURING EARTH CHANGE ACTIVITIES.
3. SILT FENCE SILT FENCE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. SEEDING NEWLY SEEDDED AREAS NEED TO BE INSPECTED FREQUENTLY FOR THE FIRST FEW MONTHS TO ENSURE THE GRASS IS GROWING. IF THE SEEDDED AREA IS DAMAGED DUE TO RUNOFF, ADDITIONAL STORMWATER MEASURES MAY BE NEEDED. SPOT SEEDING CAN BE DONE ON SMALL AREAS TO FILL IN BARE SPOTS WHERE GRASS DIDN'T GROW PROPERLY.
5. MULCHING MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MULCH IS STAYING IN PLACE. ADDITIONAL PACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE MULCH IN PLACE.
6. CONSTRUCTION ENTRANCE PROPER MAINTENANCE MAY INCLUDE ADDING ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. ALL SEDIMENT COVERED OR ERODED ONTO PUBLIC RIGHT-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY SWEEPING.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE AUTHORITY WITH JURISDICTION STANDARDS AND SPECIFICATIONS.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. ANY EROSION OR SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ESTABLISHED.
5. AFTER ALL TEMPORARY EROSION CONTROL MEASURES HAVE BEEN INSTALLED, THE CONTRACTOR SHALL CONTACT THE AUTHORITY WITH JURISDICTION FOR AN INSTALLATION INSPECTION.
6. DUST CONTROL SHALL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTOR.
7. ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR NO LESS THAN ON A DAILY BASIS. ALL MUD, DIRT AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
8. PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING OR EARTH MOVING ACTIVITY HAS BEEN COMPLETED. A FINAL INSPECTION SHALL BE SCHEDULED BY THE CONTRACTOR.
9. AUTHORITY WITH JURISDICTION SHALL INSPECT ALL SOIL EROSION CONTROL MEASURES. UPON THEIR DIRECTION, ADDITIONAL MEASURES SHALL BE CONSTRUCTED AND MAINTENANCE WORK SHALL BE PERFORMED TO ENSURE COMPLIANCE WITH ALL PERMIT REQUIREMENTS.



ADG

Avanti Development Group, LLC

330 Enterprise Ct.
Bloomfield Hills, MI 48302
(PH) 810.444.7815

STATE OF MICHIGAN
ANDREW ANDRE
ENGINEER
No. 47380
LICENSED PROFESSIONAL ENGINEER

PREPARED UNDER THE DIRECTION OF:
ANDREW ANDRE, P.E.
MI #47380

APPLICANT:
ALEXANDER CLOSE

MARIJUANA CULTIVATION FACILITY

1420 HATHAWAY DR.
OWOSSO, MI 48867

WE HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF. WE HAVE NOT BEEN ADVISED OF ANY CHANGES OR OMISSIONS THAT WOULD AFFECT THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. WE HAVE NOT BEEN ADVISED OF ANY CHANGES OR OMISSIONS THAT WOULD AFFECT THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. WE HAVE NOT BEEN ADVISED OF ANY CHANGES OR OMISSIONS THAT WOULD AFFECT THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

ISSUED FOR: SPA/SLU DATE: 11/24/21

DRAWN: ACA
CHECKED: ACA
SCALE: 1"=30'
JOB NO: 2021-139

SHEET TITLE: GRADING AND UTILITY PLAN SHEET

C4.0


Design #: 332051603959
Store: WIXOM

MENARDS

Post Frame Building Estimate
Date: Nov 12, 2021 1:29:09 PM

Elevation Views

The image displays two elevation views of a post-frame building. The top view is a side elevation, showing a long, low structure with a gabled roof and vertical siding. The bottom view is a front elevation, showing a similar structure with a gabled roof and vertical siding. Both views include dimension lines indicating length and width.

<div><p>mcdesigngroup@gmail.com direct: 248.390.2243</p><p>25280 Ryan Rd Warren, MI 48091</p></div>
<div><p><u>CLIENT:</u></p><p>Alexander Close</p><p>Contact: alexander.m.close@gmail.com</p></div>
<div><p><u>PROJECT:</u></p><p>MARIJUANA CULTIVATION FACILITY - APPLICATION</p><p><u>LOCATION:</u></p><p>1420 HATHAWAY DR. OWOSSO, MI 48867</p></div>
<div><p><u>ARCHITECT:</u></p><p>JESSICA ANN MARJI RA, NCARB</p></div>
<div><p><u>SHEET TITLE:</u></p><p>PRE-ENGINEERED BUILDING REFERENCE DRAWINGS</p></div>
<div><p><u>ISSUED:</u></p><ul style="list-style-type: none">011.24.21 ISSUED FOR SPA</div>
<div><p>DO NOT SCALE PRINTS USE FIGURED DIMENSIONS ONLY</p></div>
<div><p><u>PROJECT NO.</u></p><p>21019</p><p><u>SHEET NO.</u></p><p>A.100</p></div>

[illegible]

Midwest Manufacturing

Truss: P4035
JobName: PE STOCK
Date: 03/01/07 14:26:37
Page: 1 of 1

WALL TYPE LEGEND

- EXISTING WALLS TO REMAIN (REPAIR WALL SURFACE)
- REFER TO PARTITION SECTIONS ON A.301
AS TAGGED ON FLOOR PLAN & VERIFY WITH OWNER
- TYPICAL INTERIOR PARTITIONS
- 5/8" GYP. BD. BOTH SIDES OF 25 GA. 4" METAL STUDS @ 24" O.C. TO
UNDERSIDE OF EXISTING ROOF DECK.
- PROVIDE 5/8" GYP. BD. W/ EPOXY PAINT ON NON-CULTIVATION /
GENERAL SIDES OF PARTITIONS.
- INFILL STUD CAVITY W/ SPRAY FOAM INSULATION - TYPICAL
- PROVIDE FIRE CAULKING AT JOINTS/PENETRATIONS AT CORRIDOR
WALLS - TYPICAL
- CULTIVATION AREA PARTITIONS
- CULTIVATION SIDE(S): DURACLAD 1/2" PVC INTERLOCKING LINER
PANELS W/ CONCEALED STAINLESS STEEL OR ZINC COATED, 1-INCH,
NO. 10 PANCAKE HEAD SCREW, ON 25 GA. 4" MTL. STUDS @ 24" O.C.
TO UNDERSIDE OF EXISTING ROOF DECK.
- GENERAL SIDE: 5/8" GYP. BD. W/ EPOXY PAINT
- INFILL STUD CAVITY W/ SPRAY FOAM INSULATION - TYPICAL

GENERAL NOTES

- CLEAN, PATCH AND REFINISH WALLS, FLOORS, CEILINGS, ETC. TO MATCH SURROUNDING FINISHES AT ALL LOCATIONS WHERE NEW ITEMS AFFECT EXISTING ELEMENTS.
- ITEMS AND MATERIALS NOT INDICATED AS NEW ARE TO BE CONSIDERED EXISTING TO REMAIN.
- ALL FINISHES AND FIXTURES ARE TO BE SELECTED BY OWNER AND MAY BE INDICATED IN THESE DRAWINGS FOR COORDINATION PURPOSES ONLY.
- PATCH ANY HOLES IN WALLS AFTER ROUGH-INS - PAINT ALL EXPOSED GYPSUM WALL BOARD WITH WHITE PRIMER. FINAL COLOR/FINISH TO BE SELECTED BY OWNER.
- PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETRY, SHELVING, OR WALL MOUNTED EQUIPMENT TO ACCOMMODATE MAXIMUM LOADS. COORDINATE LOCATIONS WITH ELECTRICAL/PLUMBING.
- PER OWOSSO ZONING ORDINANCE, CHAPTER 38 - ZONING, ARTICLE XIII. - I-1 LIGHT INDUSTRIAL DISTRICTS*

THE BUILDING SHALL BE EQUIPPED WITH AN ACTIVATED CARBON FILTRATION SYSTEM FOR ODOR CONTROL TO ENSURE THAT AIR LEAVING THE BUILDING THROUGH AN EXHAUST VENT FIRST PASSES THROUGH AN ACTIVATED CARBON FILTER.

FINISH NOTES

- INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 PER MBC SECTION 720.2.
- INTERIOR FINISHES SHALL BE CLASS 'C' IN ACCORDANCE WITH MBC CHAPTER 8, TABLE 803.1.1 PER OCCUPANT LOAD OF LESS THAN 300.

BUILDING CODE ANALYSIS

PROJECT: MARIJUANA CULTIVATION FACILITY INTERIOR BUILD-OUT
1420 HATHAWAY DR., OWOSSO, MI 48867

APPLICABLE CODES: MBC 2015
ICC/ANSI 117.1-2009

MPC 2015
MMC 2015
IFGC 2015
NEC 2014 w/ Part 8 Amendments
IFC 2015 as referenced in the 2015 MBC
NFFA 13-2013
NFFA 72-2013

MBC 2015 Ch 13
MEC 2015 Ch 4 & Part 10.a Rules
(ANSI/ASHRAE 90.1-2013)

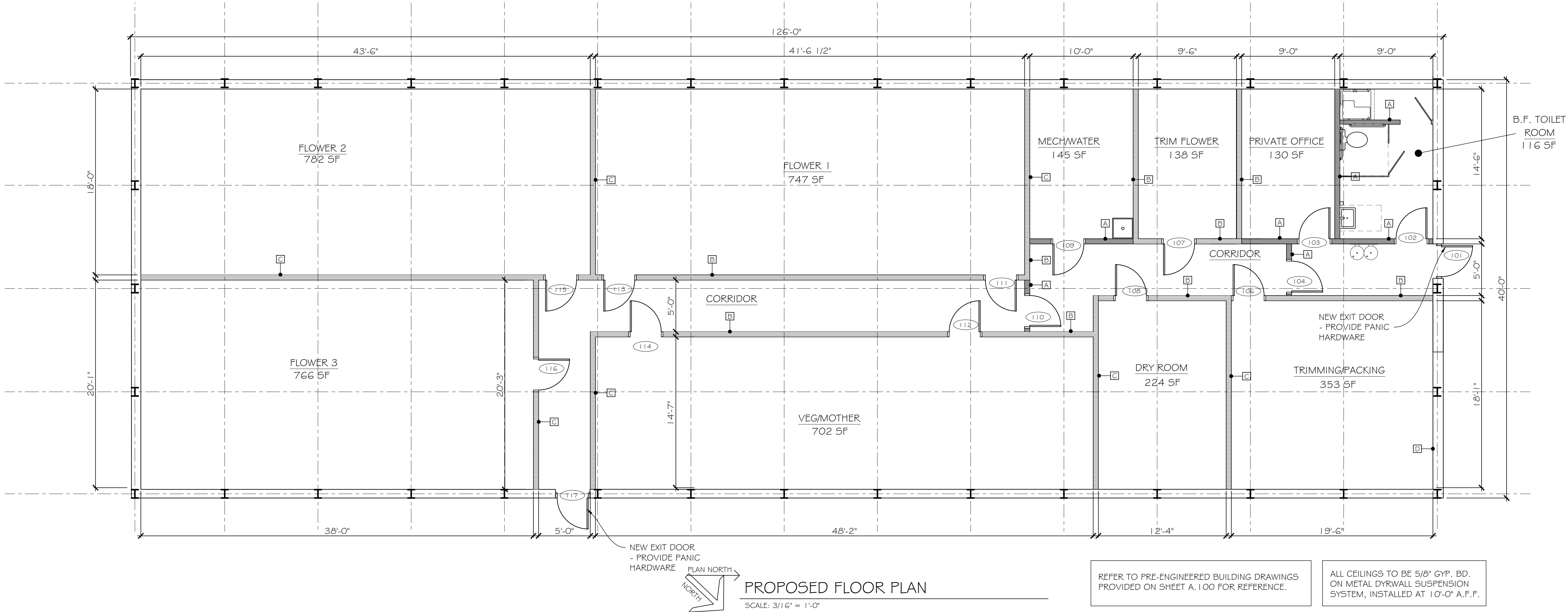
BUILDING INFORMATION

TOTAL BUILDING AREA: 5,040 SF GROSS
TOTAL USABLE AREA: 4,032 SF NET (80%)

PRE-ENG. BUILDING CONSTRUCTION TYPE: 2-B

PRE-ENG. METAL BUILDING CONSTRUCTION:
- EXTERIOR WALLS: METAL SIDING ON STEEL STUDS
- FLOOR: POLISHED CONCRETE SLAB
- ROOF: METAL ROOFING OVER STEEL TRUSSES

PROPOSED INTERIOR CONSTRUCTION:
- TYPICAL INTERIOR PARTITIONS: STEEL STUD W/ GYPSUM BOARD OR PVC PANELS (SEE A.301 FOR PARTITION DETAILS)
- CEILING: GYP. BD. ON METAL DRYWALL SUSPENSION SYSTEM AT 10'-0" A.F.F. - EPOXY PAINT



MCI
design group
mcdesigngroup@gmail.com
direct: 248.390.2243
25280 Ryan Rd
Warren, MI 48091

CLIENT:

Alexander Close

Contact:
alexander.m.close@gmail.com

PROJECT:

MARIJUANA CULTIVATION
FACILITY - APPLICATION

LOCATION:

1420 HATHAWAY DR.
OWOSSO, MI 48867

ARCHITECT:

JESSICA ANN MARJI
RA, NCARB

MI no: 1301059028



SHEET TITLE:

PROPOSED FLOOR
PLAN

ISSUED:

- 011.24.21 ISSUED FOR SPA

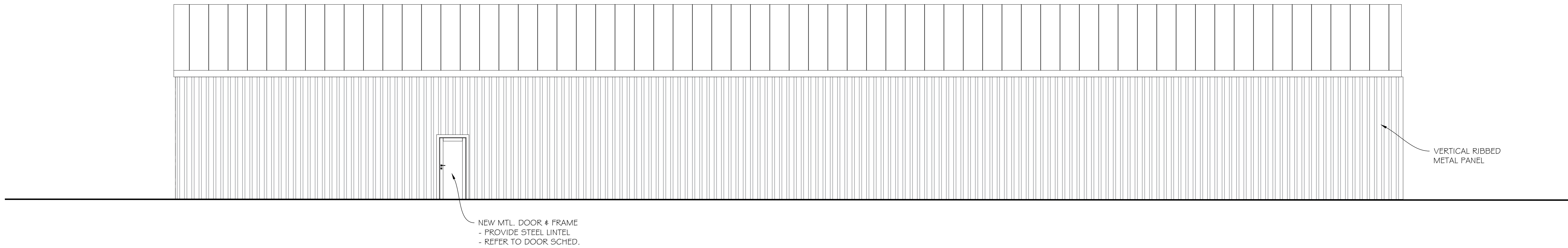
DO NOT SCALE PRINTS USE
FIGURED DIMENSIONS ONLY

PROJECT NO.

21019

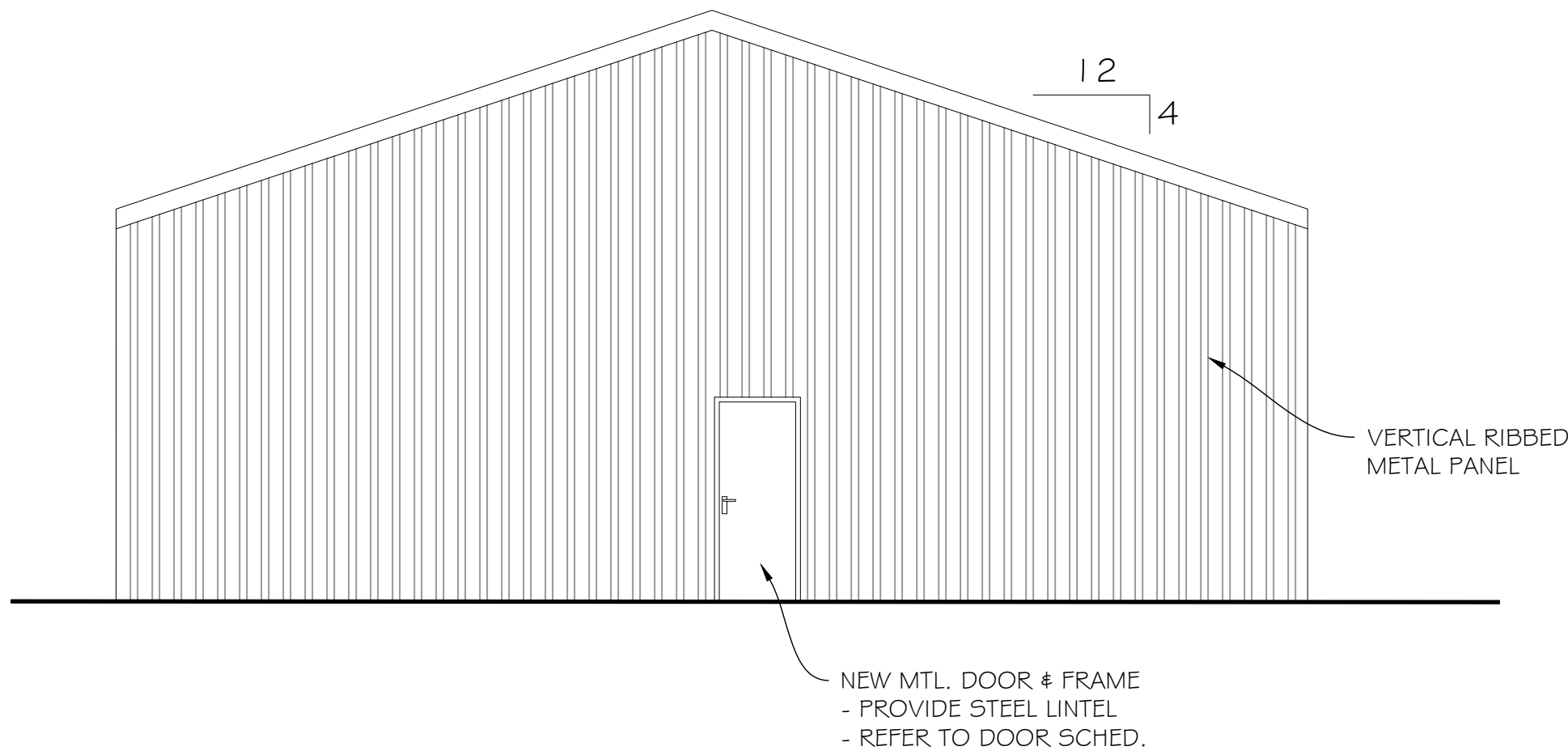
SHEET NO.

A.101



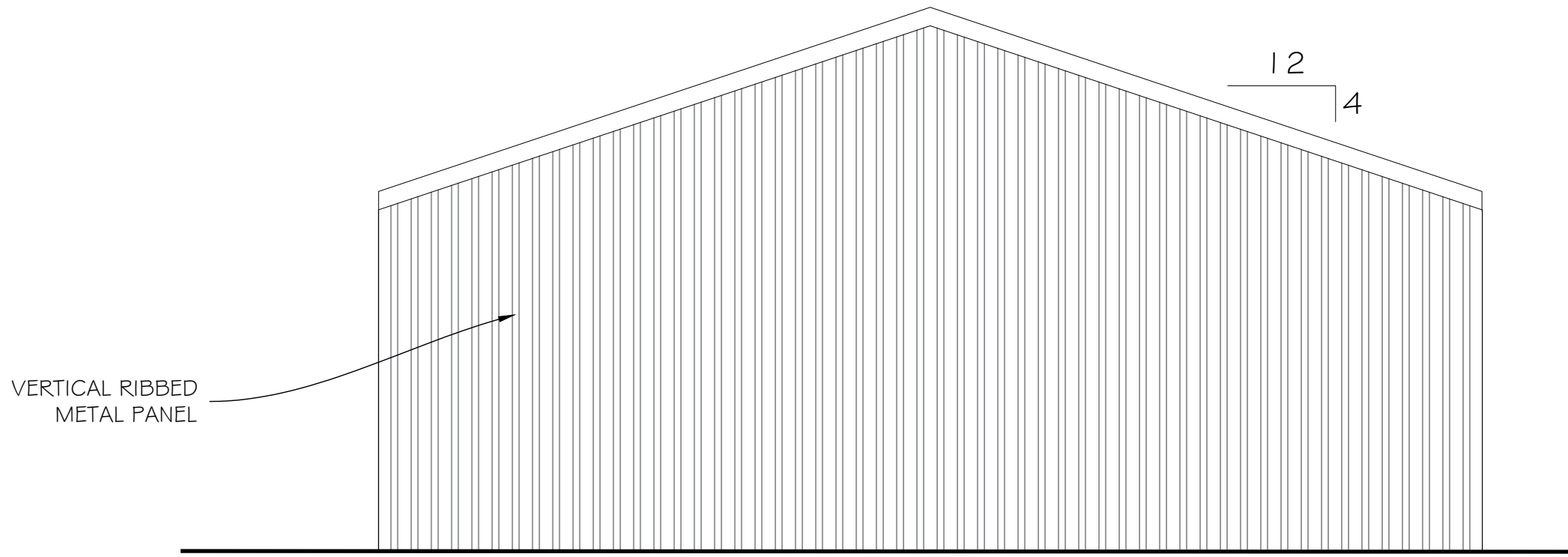
EAST ELEVATION

SCALE: 3/16" = 1'-0"



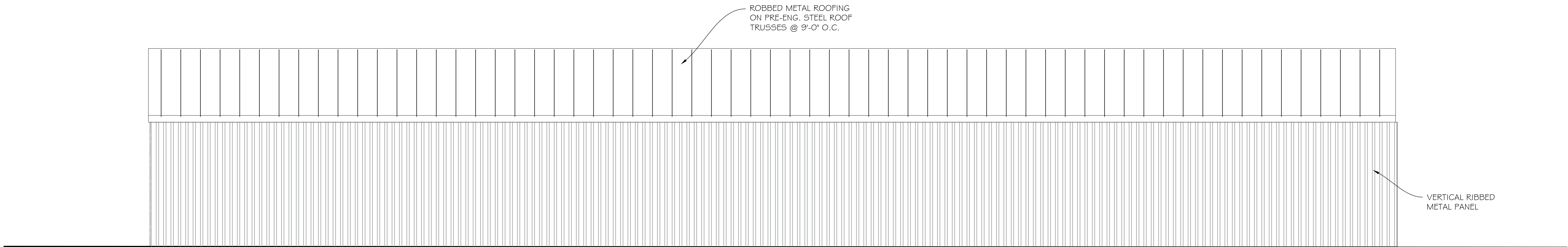
NORTH ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"

CLIENT:

Alexander Close

Contact:
alexander.m.close@gmail.com

PROJECT:

MARIJUANA CULTIVATION
FACILITY - APPLICATION

LOCATION:

1420 HATHAWAY DR.
OWOSSO, MI 48867

ARCHITECT:

JESSICA ANN MARJI
RA, NCARB

MI no: 1301059028



SHEET TITLE:

EXTERIOR ELEVATIONS

ISSUED:

- 01.1.24.21 ISSUED FOR SPA

DO NOT SCALE PRINTS USE
FIGURED DIMENSIONS ONLY

PROJECT NO.

21019

SHEET NO.

A.102



December 6, 2021

Planning Commission
City of Owosso
301 W. Main Street
Owosso, Michigan 48867

Subject: **1420 Hathaway Drive Site Plan Review.** Approximately 2.5 acres, located on the north side of Hathaway. Zoned I-1, Light Industrial.

Attention: Tanya Buckelew, Planning and Building Director

Dear Planning Commissioners:

At your request, we have completed our review of the above site plan build a new marijuana growing facility along Hathaway. The site development will include the construction of a new 5,120 sf building, 11 parking spaces, new landscaping and will be accessed from Hathaway. The property is currently zoned I-1, Light Industrial, where this use is a permitted land use.

The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and your own findings based on ordinance standards as part of your deliberation.

REVIEW COMMENTS

Section 36-390 of the City of Owosso Zoning Ordinance lists the submittal requirements for site plan review. Based on our review of the proposal, discussions with Mr. Nathan Henne, City Manager, meetings with the applicant and a visit to the site, we offer the following comments for your consideration:

- 1. Information items.** The site plan meets the informational requirements of the ordinance.
- 2. Area and Bulk.** The proposed site was reviewed in accordance with *Article 16, Schedule of Regulations*, as described in the following table.

	Required	Provided	Comments
1420 Hathaway (I-1 ZONING)			
Front Yard Building Setback	40 ft	40 ft	In compliance

	Required	Provided	Comments
Side Yard Building Setback	20	26 ft and 69 ft	In compliance
Rear Yard Building Setback	0 ft.	24 ft.	In compliance
Maximum Building Height	40 ft.	17 ft	In compliance

3. Building Design & Materials. The ordinance states that durable building materials which provide an attractive, quality appearance must be utilized. **The proposed building materials are consistent with the City of Owosso Zoning Ordinance.**

4. Building Height. The proposed building complies with the maximum building height.

5. Mechanical Units. The Zoning Ordinance requires that all exterior mechanical equipment be screened. **The applicant has not provided information regarding potential exterior mechanical equipment that has been seen with similar developments recently approved by the city. We would recommend as a condition of approval that applicant resubmit revised site plans depicting any and all proposed exterior mechanical equipment and the proposed methods for screening each proposed unit.**

6. Dumpster. The proposed dumpster meets ordinance requirements.

7. Site Lighting. Proposed lighting is in compliance with the Zoning Ordinance.

8. Parking Lot Requirements. This requirement has been met.

9. Landscaping. The landscaping plan is in compliance with the ordinance however, **if additional landscaping needed to screen exterior mechanical equipment, that must be shown on the plan for final approval.**

10. Other Approvals. The proposed site plan must be reviewed and approved by the appropriate city departments, consultants, and agencies.

RECOMMENDATION

Based upon the above comments, **we recommend approval of the 1420 Hathaway Drive Site Plan, conditioned upon the following:**

1. Submission of a revised site plan that satisfactorily addresses the items in this letter, for administrative review and approval;
2. That the applicant show on the plan the location and method of screening for any and all proposed exterior mechanical equipment associated with the site development and operation,
3. That the landscaping plan be revised if landscaping will be utilized as a method of screening any proposed mechanical equipment; and
4. Review and approval by the appropriate city departments, consultants, and agencies.

If you have any further questions, please contact us at 810-734-0000.

Sincerely,

CIB Planning

A handwritten signature in black ink, appearing to read "Justin Sprague", is written over the printed name and title.

Justin Sprague
Vice President