



**CITY OF OWOSSO PLANNING COMMISSION**  
**Regular Meeting**  
**Monday, July 26 2021 at 6:30 p.m.**  
**AGENDA**

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA – July 26, 2021

APPROVAL OF MINUTES – May 24, 2021

**PUBLIC HEARINGS:** None

**OLD BUSINESS:** None

**NEW BUSINESS:**

**1. Site Plan Review – 1465 McMillan**

OTHER BOARD BUSINESS

PUBLIC COMMENTS AND COMMUNICATIONS

ADJOURNMENT

**Next regular meeting will be on Monday, August 23, 2021 at 6:30 p.m.**

*The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and recordings of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours' notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing or calling the following: Amy Kirkland, City Clerk, 301 W. Main St, Owosso, MI 48867 (989) 725-0500. The City of Owosso website is: [www.ci.owosso.mi.us](http://www.ci.owosso.mi.us)*

**MINUTES  
REGULAR MEETING OF THE OWOSSO PLANNING COMMISSION  
VIRTUAL MEETING  
Monday, May 24, 2021 – 6:30 P.M.**

**CALL TO ORDER:** Chairman Wascher called the meeting to order at 6:30 p.m.

**PLEDGE OF ALLEGIANCE:** Recited

**ROLL CALL:** Recording Secretary Tanya Buckelew

**MEMBERS PRESENT:** Chairman Wascher, Vice-Chair Livingston, Commissioners Law, Morris, Robertson

**MEMBERS ABSENT:** Secretary Fear, Commissioners Jenkins, Taylor, Yerian

**OTHERS PRESENT:** Nathan Henne, City Manager, Justin Sprague, CIB Planning

**APPROVAL OF AGENDA:**

**MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER ROBERTSON TO APPROVE THE AGENDA FOR May 24, 2021.**

**YEAS ALL. MOTION CARRIED.**

**APPROVAL OF MINUTES:**

**MOTION BY COMMISSIONER MORRIS SUPPORTED BY VICE-CHAIR LIVINGSTON TO APPROVE THE MINUTES FOR THE April 26, 2021 MEETING.**

**YEAS ALL. MOTION CARRIED.**

**PUBLIC HEARINGS:** NONE

**OLD BUSINESS:** NONE

**NEW BUSINESS:** Resolution of Adoption – Master Plan

Justin Sprague discussed the changes made from the last meeting's comments – removed the M-21 diet plan, removed Vanguard site as a potential future project, added language to the last paragraph on page 5, changes map names and completed the action table.

**CITY OF OWOSSO  
PLANNING COMMISSION  
RESOLUTION OF ADOPTION  
MASTER PLAN UPDATE**

**WHEREAS**, Michigan Public Act 33 of 2008, as amended, the Michigan Planning Enabling Act, provides for the preparation of a Master Plan for the physical development of the municipality, with the general purpose of guiding and accomplishing development of the municipality and its environs that is coordinated, adjusted, harmonious, efficient and economical; considers the character of the planning jurisdiction and its suitability for particular uses, judged in terms of such factors as trends in land and population development; will, in accordance with present and future needs, best promote public health, safety, morals, order, convenience, prosperity, and general welfare; includes, among other things, promotion of or adequate provision for 1 or more of the following: 1) system of transportation to

lessen congestion on streets; 2) safety from fire and other dangers; 3) light and air; 4) healthful and convenient distribution of population; 5) good civic design and arrangement and wise and efficient expenditure of public funds; 6) public utilities such as sewage disposal and water supply and other public improvements; 7) recreation; and 8) the use of resources in accordance with their character and adaptability; and

**WHEREAS**, development of a future land use plan is pivotal in accommodating development in an organized manner while retaining its unique characteristics and promoting economic development; and

**WHEREAS**, the updated Master Plan is needed to address the documented public health, safety and welfare concerns with un-managed growth and an incompatible mixture of land uses; and

**WHEREAS**, a Master Plan update was necessary to respond to changing land use conditions in the City, changes related to the desire to protect the City of Owosso's various neighborhoods, the need to provide a high quality of life for its residents, and offer residents and businesses the needed services and support to be successful; and

**WHEREAS**, a Master Plan is important to provide a sound basis for zoning, other related regulations, and community investments; and

**WHEREAS**, the planning process involved analysis of existing conditions and an analysis of the basic needs of the current and future population; and

**WHEREAS**, the planning process included a public hearing to allow opportunity for the public to comment and to respond to the draft plan; and

**WHEREAS**, the plan contains recommendations for future land use arrangement and density, neighborhoods, multi-modal transportation improvements, community facilities improvements, natural feature preservation, and specific sub-area plans to guide growth and development; and

**WHEREAS**, the plan includes implementation strategies and responsibility for completion of each recommendation to ensure the plan is able to be accomplished; and

**WHEREAS**, the City of Owosso complied with required plan development steps of notifying and involving surrounding communities and outside agencies; and

**WHEREAS**, the Owosso City Council has also asserted their right to also adopt the plan; and

**WHEREAS**, a public hearing was held on the Master Plan update amendment on April 26, 2021 to formally receive community input.

**NOW THEREFORE, BE IT RESOLVED**, that the City of Owosso's Planning Commission adopts the City of Owosso's Master Plan, in accordance with Section 43 of Michigan Public Act 33 of 2008, as amended.

**MOTION BY COMMISSIONER ROBERTSON, SUPPORTED BY VICE-CHAIR LIVINGSTON TO ADOPT THE CITY OF OWOSSO MASTER PLAN**

**YEAS:** VICE-CHAIR LIVINGSTON, COMMISSIONERS LAW, MORRIS, ROBERTSON,  
CHAIRMAN WASCHER

**NAYS:** NONE

**RCV Motion Carried**

I, Janae Fear, Planning Commission Secretary, for the City of Owosso, Michigan do hereby certify the foregoing to be a true copy of a resolution duly adopted by the City of Owosso Planning Commission at the regular meeting held on the May 24, 2021.

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Janae Fear, Planning Commission Secretary

**OTHER BOARD BUSINESS:** NONE

**PUBLIC COMMENTS AND COMMUNICATIONS:** NONE

**ADJOURNMENT:**

**MOTION BY COMMISSIONER MORRIS SUPPORTED BY VICE-CHAIR LIVINGSTON TO  
ADJOURN AT 6:40 P.M. UNTIL THE NEXT MEETING ON June 28, 2021.**

**YEAS ALL, MOTION CARRIED.**

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**Janae Fear, Secretary**



2021-001

07-08-2021

**CITY OF OWOSSO, MICHIGAN  
SITE PLAN REVIEW APPLICATION AND CHECKLIST**

- Application must be filed at least 25 days prior to a scheduled Planning Commission meeting for staff review and proper notices.
- This application is submitted with 1 copy of the complete site plan and appropriate fees. Applicant shall also submit a digital version of the site plan.
- Accompanying any site plan required hereunder, the applicant shall provide from, a licensed engineer, soil borings at the proposed construction site to ascertain bearing capacity of foundations soils at the time of footing excavation to certify such soil conditions meet or exceed design capacity of the foundation to support the proposed structure. These requirements shall comply with policies of the City of Owosso, copies of which can be obtained from the Building Department.
- The attached checklist has been completed to certify the data contained on the site plan. If the required data has not been provided, the appropriate box has been checked with a statement of explanation on why the data has not been provided.
- I understand that if my site plan is deemed to be incomplete, it may be returned by the City for revisions without being forwarded to the Planning Commission for consideration, until such time as the requirements have been adequately met.
- By signing this application, the applicant hereby grants full authority to the City of Owosso, its agents, employees, representatives and/or appointees to enter upon the undersigned lands/parcel(s) for the purposes of inspection and examination.

**Approval of the site plan is hereby requested for the following parcel(s) of land in the City of Owosso.**

**Application Filed On:** 07/08/2021

**Application Transmitted by City On:**

**Property Details:**

1. Name of Proposed Development: McMillan Grow Facility
2. Property Street Address: McMillan Avenue (No street address yet) 1465 McMillan Ave.
3. Location of Property: Northwest corner of McMillan and E. South Street 050-480-000-003-00
4. Legal Description of Property: The West 1/2 of Lot 2 of the Plat of Owosso Southeast Industrial Park, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 14 of Plats, Page 272, Shiawassee County Records.
5. Site Area (in acres and square feet): 1.03 Acres 44,681 SF
6. Zoning Designation of Property: I1-IND LT

**Ownership:**

1. Name of Title/Deed Holder: 1400 McMillan, LLC
2. Address: 2110 Chalgrove Drive, Troy, MI 48098-2294
3. Telephone No: (248)797-8080
4. Email address: gusmansour@yahoo.com; vanessa\_mansour@yahoo.com

**Applicant:**

1. Applicant (If different from owner above): Same as above

2. Address:

3. Telephone No:

4. Email address:

5. Interest in Property (potential buyer/lease holder/potential lessee/other):

**Architect/Surveyor/Engineer preparing site plan:**

1. Name of Individual: RADE BESLAC, Fenton Land Surveyor LLC  
2. Address: 14465 N Fenton Rd, Suite 101A, Fenton, 48430  
3. Telephone No: 810.354.8115  
4. Email address: INFO@FENTONLSE.COM

**APPLICATION FEES:**

- |   |   |
|---|---|
| • Apartment/townhouse                                 | • \$550.00 + \$4.50/unit  |
| • Commercial/Industrial                               | • \$500.00 + \$50.00/acre   |
| • Institutional (Schools, Public Services, Hospitals) | • \$475.00 + \$40.00/acre   |
| • Mobile home park                                    | • \$575.00 + \$5.00/unit  |
| • Planned Unit Development/Mixed use development      | • \$550.00 + \$50.00/acre   |
| • Preliminary site plan review                        | • 75% of site plan review fee   |
| • Single family site condo (prelim or final)          | • \$700.00 + \$5.00/lot   |
| • Site plan revision/review                           | • 75% of site plan review fee + any needed consulting fees determined by administration |
| • Site plan requiring review by city engineer         | • all costs by owner/applicant via escrow   |
| • Special meetings with planner/engineer              | • all costs by owner/applicant via escrow   |
| • Escrow Fee  | • \$1,500   |

**Consultant Fees for Planning, Zoning, Engineering & Related Reviews:**

- To better enable the City of Owosso to provide the highest quality review services, it retains the assistance of specialized consultants on an as-needed basis. To ensure that these services do not negatively impact the City's general fund, the cost of said services is passed on to the applicants in the form of review fees and associated escrow accounts
- A cash deposit of \$1,500.00 shall be placed with the City of Owosso to retain qualified consultants.
- The City will let the applicants know when additional funds are needed (typically when about 25% is remaining).
- Should there be funds remaining in the account after completion of the project, the balance will be remitted to the depositor.

See next page  
Signature of Applicant

Date

Signature of Deed/Title Holder

Date

**PLEASE PROVIDE AN OVERVIEW OF THE PROJECT:**

NEW GROW FACILITY includes a 11,939 SFT Building w/ 17 parking spaces; Building has 3 separate Units for Grow. New Basin Dumpster Enclosure and commercial Drive Approach.

2. Address:

3. Telephone No:

4. Email address:

5. Interest in Property (potential buyer/lease holder/potential lessee/other):

**Architect/Surveyor/Engineer preparing site plan:**

1. Name of Individual:

2. Address:

3. Telephone No:

4. Email address:

**APPLICATION FEES:**

- |   |   |
|---|---|
| • Apartment/townhouse                                 | • \$550.00 + \$4.50/unit  |
| • Commercial/Industrial                               | • \$600.00 + \$50.00/acre   |
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- The City will let the applicants know when additional funds are needed (typically when about 25% is remaining).
- Should there be funds remaining in the account after completion of the project, the balance will be remitted to the depositor.

Signature of Applicant

*Shawn Mauer*

Date: 7/7/2021

Signature of Deed/Title Holder

*Shawn Mauer*

Date: 7/7/2021

**PLEASE PROVIDE AN OVERVIEW OF THE PROJECT:**

# **SITE PLAN REVIEW CHECKLIST:**

Check the appropriate line. If item is marked as 'not provided', attach detailed explanation.

|   | PROVIDED | NOT PROVIDED |
|---|----------|--------------|
| 1. Site location Map.   | /        |              |
| 2. North arrow, scale (one (1) inch equals fifty (50) feet if the subject property is less than three (3) acres and one (1) inch equals one hundred (100) feet if three (3) acres or more.    | /        |              |
| 3. Revision dates.  | /        |              |
| 4. Signature and Seal of Architect/Surveyor/Engineer.   | /        |              |
| 5. Area of site (in acres and square feet).   | /        |              |
| 6. Boundary of the property outlined in solid line.   | /        |              |
| 7. Names, centerline and right-of-way widths of adjacent streets.   | /        |              |
| 8. Zoning designation of property.  | /        |              |
| 9. Zoning designation and use of adjacent properties.   | /        |              |
| 10. Existing and proposed elevations for building(s) parking lot areas and drives.  | /        |              |
| 11. Direction of surface water drainage and grading plan and any plans for storm water retention/detention on site.   | /        |              |
| 12. Required setbacks from property lines and adjacent parcels.   | /        |              |
| 13. Location and height of existing structures on site and within 100 feet of the property.   | /        |              |
| 14. Location and width of existing easements, alleys and drives.  | /        |              |
| 15. Location and width of all public sidewalks along the fronting street right-of-way and on the site, with details.  | /        |              |
| 16. Layout of existing/proposed parking lot, with space and aisle dimensions.   | /        |              |
| 17. Parking calculations per ordinance.   | /        |              |
| 18. Location of all utilities, including but not limited to gas, water, sanitary sewer, electricity, telephone.   | /        |              |
| 19. Soil erosion and sedimentation control measures during construction.  | /        |              |
| 20. Location and height of all existing/proposed fences, screens, walls or other barriers.  | /        |              |
| 21. Location and details of dumpster enclosure and trash removal plan.  | /        |              |
| 22. Landscape plan indicating existing/proposed trees and plantings along frontage and on the site.   | /        |              |
| 23. Notation of landscape maintenance agreement.  | /        |              |
| 24. Notation of method of irrigation.   | NONE     |              |
| 25. Lighting plan indicating existing/proposed light poles on site, along site's frontage and any wall mounted lights.  | /        |              |
| a. Cut-sheet detail of all proposed light fixtures.   | /        |              |
| 26. Architectural elevations of building (all facades) identifying height, Materials used and colors.   | /        |              |
| 27. Existing/proposed floor plans.  | /        |              |
| 28. Roof mounted equipment and screening.   | /        |              |
| 29. Location and type of existing/proposed on-site signage.   | /        | /            |
| 30. Notation of prior variances, if any.  | N/A      |              |
| 31. Notation of required local, state and federal permits, if any.  | /        |              |
| 32. Additional information or special data (for some sites only)  |          |              |
| a. Environmental Assessment Study.  |          | /            |
| b. Traffic Study, Trip Generation.  |          | /            |
| c. Hazardous Waste Management Plan.   |          | /            |
| 33. For residential development: a schedule indicating number of dwelling units, number of bedrooms, gross and usable floor area, parking provided, total area of paved and unpaved surfaces. | N/A      |              |
| 34. LLC establishments must have a current Plan of Operation.   |          |              |
| 35. Is property in the floodplain?  | /        | N/A          |
| 36. Will this require MDEQ permitting?  | /        | N/A          |
| 37. Performance Bond - when required.   |          |              |

Additional data deemed necessary to enable to completion of an adequate review may be required by the Planning Commission, City and/or its consultants.



July 16, 2021

Planning Commission  
City of Owosso  
301 W. Main Street  
Owosso, Michigan 48867

Subject: **1465 McMillan Avenue Site Plan Review.** Approximately 1.03 acres, located on the east side of McMillan Avenue, north of Industrial Drive. Zoned I-1, Light Industrial.

Attention: Mr. Brad Hissong, Building Official

Dear Planning Commissioners:

At your request, we have completed our review of the above site plan build a new marijuana growing facility along McMillan Avenue. The site development will include the construction of a new building, 17 parking spaces, new landscaping and will be accessed from McMillan. The property is currently zoned I-1, Light Industrial, where this use is a permitted land use.

The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and your own findings based on ordinance standards as part of your deliberation.

## REVIEW COMMENTS

*Section 36-390* of the City of Owosso Zoning Ordinance lists the submittal requirements for site plan review. Based on our review of the proposal, discussions with Mr. Nathan Henne, City Manager, meetings with the applicant and a visit to the site, we offer the following comments for your consideration:

- 1. Information items.** The site plan meets the informational requirements of the ordinance.
- 2. Area and Bulk.** The proposed site was reviewed in accordance with *Article 16, Schedule of Regulations*, as described in the following table.

|                                      | Required | Provided       | Comments      |
|--------------------------------------|----------|----------------|---------------|
| <b>1107 W. Main<br/>(B-3 ZONING)</b> |          |                |               |
| <b>Front Yard Building Setback</b>   | 40 ft    | 40ft and 65 ft | In compliance |

17195 Silver Parkway, #309  
Fenton, MI 48430

Phone: 810-734-0000  
Email: [sprague@cibplanning.com](mailto:sprague@cibplanning.com)



|                            | Required | Provided         | Comments      |
|----------------------------|----------|------------------|---------------|
| Side Yard Building Setback | 20       | 40 ft and 70+ ft | In compliance |
| Rear Yard Building Setback | 0 ft.    | 20 ft.           | In compliance |
| Maximum Building Height    | 40 ft.   | 17 ft            | In compliance |

**3. Building Design & Materials.** The ordinance states that durable building materials which provide an attractive, quality appearance must be utilized. **The proposed building materials are consistent with the City of Owosso Zoning Ordinance.**

**4. Building Height.** The proposed building complies with the maximum building height.

**5. Mechanical Units.** The Zoning Ordinance requires that all exterior mechanical equipment be screened. **The applicant is proposing to provide screening by planting arborvitae around all exterior mechanical equipment, which is an acceptable option instead of fencing. We would recommend as a condition of approval that all screening landscaping shall be upkept and in good condition, and that fencing could be required as a future option for screening if the landscaping material should not survive or does not provide enough screening.**

**6. Dumpster.** The proposed dumpster meets ordinance requirements.

**7. Site Lighting.** Proposed lighting is predominantly in compliance with the Zoning Ordinance. **As shown on the plan, the applicant has lighting that is not directed fully at the ground. The ordinance requires that all lighting should be directed to the ground and not on an angle.**

**8. Parking Lot Requirements.** This requirement has been met.

**9. Landscaping.** The landscaping plan is in compliance with the ordinance.

**9. Other Approvals.** The proposed site plan must be reviewed and approved by the appropriate city departments, consultants, and agencies.

## **RECOMMENDATION**

Based upon the above comments, **we recommend approval of the 1465 McMillan Avenue Site Plan, conditioned upon the following:**

1. Submission of a revised site plan that satisfactorily addresses the items in this letter, for administrative review and approval;
2. That the use of landscaping (arborvitae) is acceptable for shielding mechanical equipment, but that fencing may be required if the landscaped shielding should be compromised in the future (should the screening not fully shield the equipment or should the landscaping material not survive);
3. That all proposed lighting be directed at 90 degrees fixed toward the ground; and
4. Review and approval by the appropriate city departments, consultants, and agencies.

If you have any further questions, please contact us at 810-734-0000.

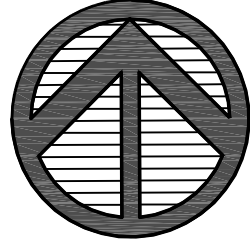
Sincerely,

**CIB Planning**

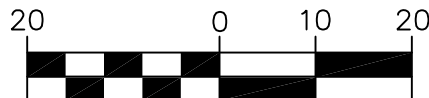
Justin Sprague  
Vice President



NORTH



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

### EXISTING ZONING INFORMATION:

ACCORDING TO THE CURRENT CITY OF OWOSSO ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED I-1 (LIGHT INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT SIZE = NONE
- 2) MINIMUM LOT WIDTH = NONE
- 3) FRONT SETBACK (Q) = 40 FEET
- 4) SIDE SETBACK (S) = 20 FEET
- 5) REAR SETBACK (R) = NONE
- 6) MAXIMUM BUILDING HEIGHT = 40 FEET
- 7) MAXIMUM BUILDING COVERAGE = NONE

Q) OFF-STREET PARKING FOR VISITORS, OVER AND ABOVE THE NUMBER OF SPACES REQUIRED UNDER SECTION 38-380, MAY BE PERMITTED WITHIN THE REQUIRED FRONT YARD PROVIDED THAT SUCH OFF-STREET PARKING SPACES ARE NOT LOCATED WITHIN TWENTY (20) FEET OF THE FRONT LOT LINE.

S) ALL STORAGE SHALL BE IN THE REAR YARD AND SHALL BE COMPLETELY SCREENED WITH AN ADJACENT WALL OR FENCE, NOT LESS THAN SIX (6) FEET HIGH, OR WITH A CHAIN LINK TYPE FENCE AND A GREENBELT PLANTING TO OBSCURE ALL VIEW FROM ANY ADJACENT RESIDENTIAL, OFFICE OR BUSINESS DISTRICT.

### UTILITY NOTE:

THE PROPERTY CURRENTLY HAS ACCESS TO PUBLIC UTILITIES SUCH AS WATERMAIN, SANITARY SEWER, STORM SEWER, ELECTRIC AND GAS.

### FLOOD PLAIN NOTE:

THIS PROPERTY IS IN ZONE "X" (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26155C0232C WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

### SURVEYOR NOTES:

1. DATE OF LAST FIELD WORK WAS APRIL 29, 2021
2. THE BEARINGS ARE RELATIVE TO THE DESCRIPTION PROVIDED BY THE CLIENT
3. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
4. REFERENCE DRAWING BY LANDMARK SURVEYING, JOB NO. 27332, DATED FEBRUARY 11, 2020.
5. THERE ARE NO OTHER VISIBLE IMPROVEMENTS ON THE SUBJECT PROPERTY, OTHER THAN AS SHOWN HEREON THE ACCOMPANYING DRAWINGS.
6. PER OBSERVATION, THERE IS NO EVIDENCE OF EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS; THERE IS NO EVIDENCE OF CHANGES TO RIGHT OF WAY LINES, OR STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
7. TOTAL PROPERTY AREA = 44,681 SFT or 1.03 ACRES

### UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

### STANDARD NOTES FOR SITE PLANS:

- \* **A. EXTENSION OF PUBLIC UTILITIES:** ALL PUBLIC SANITARY SEWER AND/OR WATERMAIN SHALL BE EXTENDED TO THE FURTHEST LIMITS OF THE PROPERTY, INCLUDING CORNER LOTS, WITH THE PIPE SIZE AND MATERIAL APPROVED BY CITY OF OWOSSO. THIS IS NECESSARY FOR PLAN APPROVAL. FOR WATER SERVICE OF 1" OR LESS OR A BUILDING ON A CORNER LOT, THE REQUIREMENTS TO EXTEND THE PUBLIC WATERMAIN AND/OR SANITARY SEWER ALONG BOTH PROPERTY LINES WILL BE REVIEWED.
- \* **B. WATERMAIN LOOPING:** ALL PUBLIC WATERMANS SHALL BE LOOPED WHENEVER POSSIBLE. THE PIPE SIZE REQUIREMENTS SHALL BE APPROVED BY CITY OF OWOSSO.
- \* **C. SOIL EROSION:** THE DEVELOPER SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. THIS INCLUDES THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT. THE DEVELOPER SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWER, CULVERTS, ETC. AS A RESULT OF THIS PROJECT, SHALL BE REMOVED BY THE DEVELOPER AT THE COST OF THE DEVELOPER.
- \* **D. FLOOD PLAIN OR WETLAND CONSTRUCTION:** THE DEVELOPER SHALL APPLY TO THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY FOR A PERMIT FOR THE ALTERATION AND/OR OCCUPATION OF A FLOOD PLAIN OR FLOODWAY, AS REQUIRED UNDER PA 451. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY CITY OF OWOSSO AND/OR GDC.
- \* **E. NPDES STORM WATER DISCHARGE PERMIT:** THE OWNER OF THE PROPERTY SHALL OBTAIN A NPDES STORM WATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM MDEQ AS REQUIRED UNDER PUBLIC ACT 451. THE NOTICE OF COVERAGE FORM SHALL BE SUBMITTED THROUGH GENESSEE COUNTY DRAIN COMMISSIONER, DIVISION OF WATER & WASTE SERVICES WITH THE SOIL EROSION CONTROL PERMIT APPLICATION. ALL EGLE FEES SHALL ACCOMPANY THE NOTICE OF COVERAGE. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY CITY. LESS THAN 5 ACRES WILL BE DISTURBED IN CONSTRUCTION OF THIS PROJECT, THEREFORE A NPDES STORM WATER DISCHARGE PERMIT WILL NOT BE REQUIRED.
- \* **F. CITY OF OWOSSO PERMIT TO CONSTRUCT A PUBLIC UTILITY:** AFTER THE APPROVAL OF THIS PRELIMINARY PLAT OR SITE PLAN, THE DEVELOPER SHALL SUBMIT A DETAILED PLAN FOR CONSTRUCTION OF ALL PUBLIC SANITARY SEWER AND WATERMAIN. THE PLANS MUST HAVE CITY APPROVAL, A S-PERMIT ISSUED, AND APPROVAL FROM THE EGLE PRIOR TO BEGINNING CONSTRUCTION.
- \* **G. CITY OF OWOSSO ROAD RIGHT-OF-WAY PERMIT:** THE DEVELOPER SHALL OBTAIN A PERMIT FROM CITY OF OWOSSO TRAFFIC ENGINEERING TO PERFORM WORK WITHIN THE COUNTY/STATE ROAD PUBLIC RIGHT-OF-WAY. ALL FEES FOR THE PERMIT, BONDS AND INSURANCES ARE THE RESPONSIBILITY OF THE DEVELOPER.
- \* **H. MUNICIPALITY SANITARY SEWER AND WATER PERMIT:** PRIOR TO THE ISSUANCE OF A BUILDING PERMIT BY THE LOCAL MUNICIPALITY, THE DEVELOPER SHALL BE REQUIRED TO OBTAIN A SANITARY SEWER AND/OR WATER TAP-IN PERMIT FROM THE LOCAL MUNICIPALITY, IF AUTHORIZED.
- \* **I. STATE CONSTRUCTION PERMITS:** THE SANITARY SEWER AND WATERMAIN CONSTRUCTION PERMITS FROM THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY SHALL BE SUBMITTED TO THE EGLE AFTER APPROVAL OF CITY. CONSTRUCTION SHALL NOT BEGIN UNTIL THESE STATE PERMITS ARE ISSUED.
- \* **NOT APPLICABLE TO THIS PROJECT**

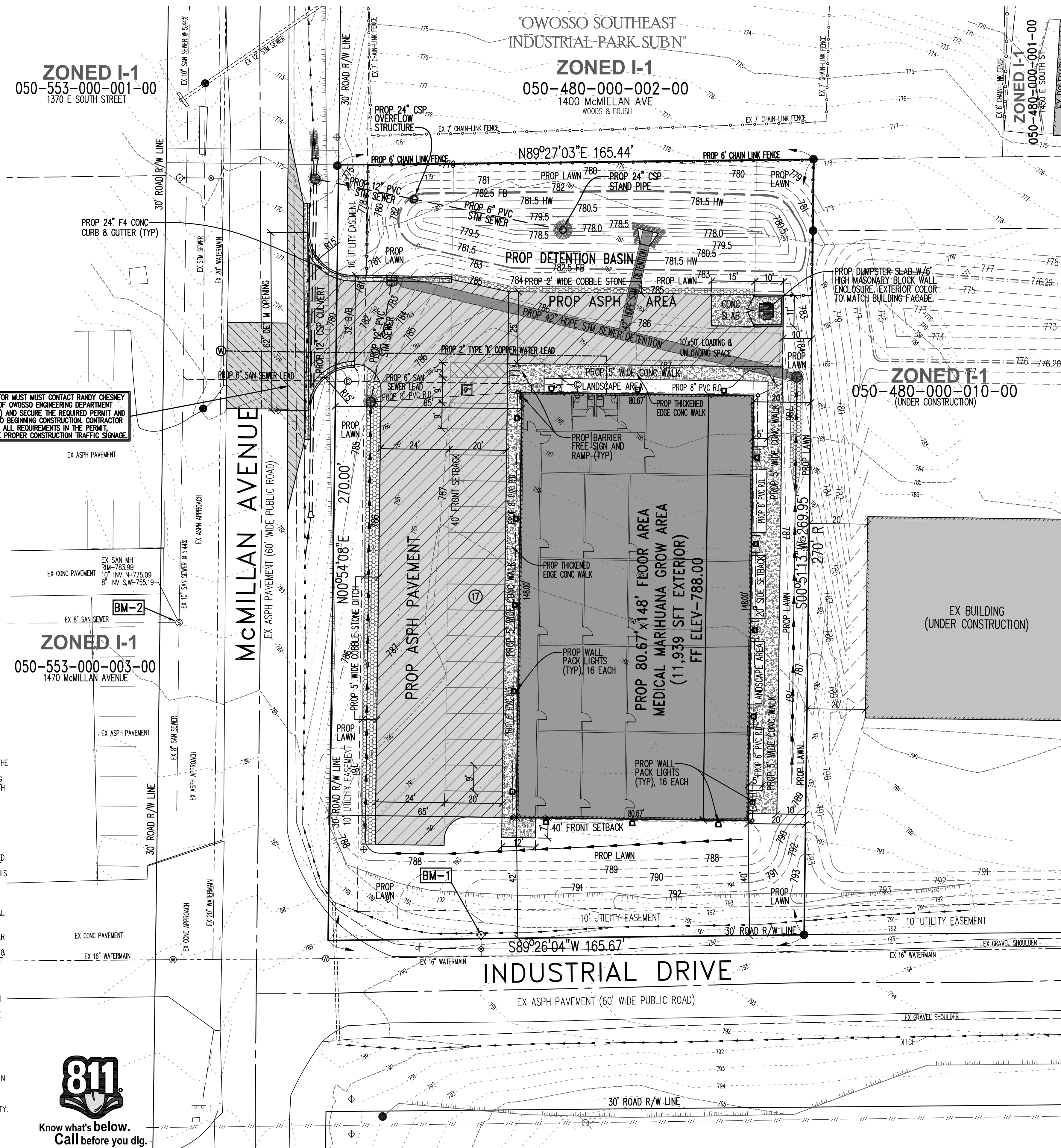
THE CONTRACTOR MUST MUST CONTACT RANDY CHESNEY AT THE CITY OF OWOSSO ENGINEERING DEPARTMENT (508.726.0550) AND SECURE THE REQUIRED PERMIT AND BOND PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMIT, INCLUDING THE PROPER CONSTRUCTION TRAFFIC SIGNALS.

**ZONED I-1**  
050-553-000-001-00  
1370 E SOUTH STREET

**ZONED I-1**  
050-553-000-003-00  
1470 McMILLAN AVENUE



## SITE PLAN LAYOUT & COVER SHEET



### BENCHMARK NO. 1

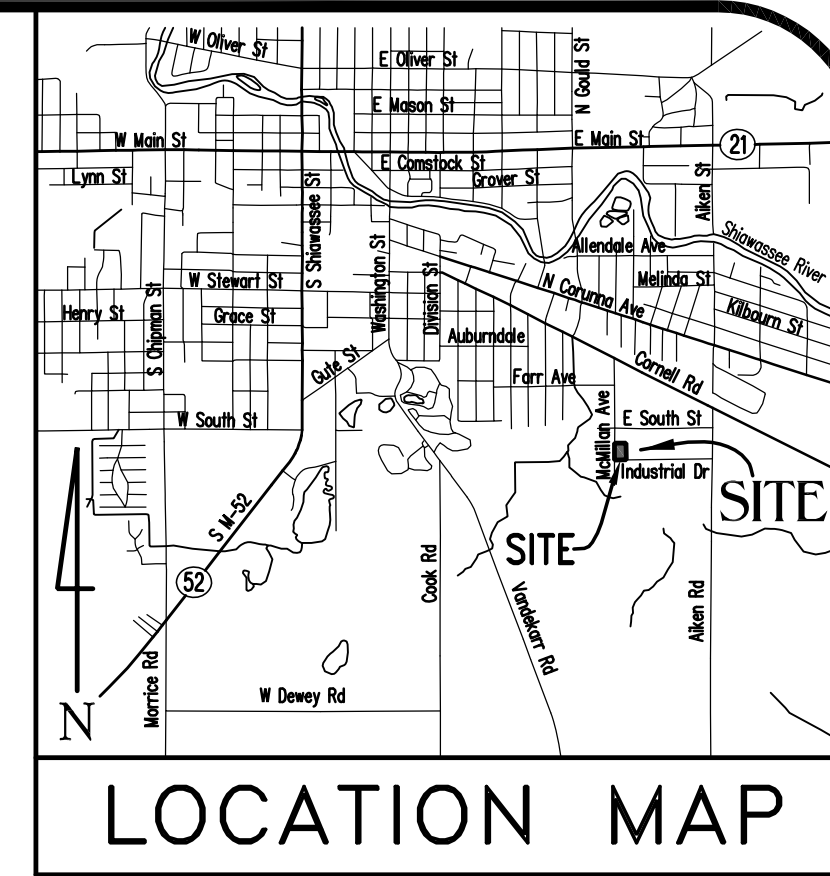
ARROW ON FIRE HYDRANT LOCATED AT NORTH LINE OF INDUSTRIAL DRIVE AND 50'± EAST OF McMILLAN AVE., AS SHOWN ELEVATION-790.97 (NAVD88)

### BENCHMARK NO. 2

NORTH EDGE OF THE EXISTING SANITARY SEWER MANHOLE, WEST SIDE OF McMILLAN AVENUE, AS SHOWN ELEVATION-783.99 (NAVD88)

### PROJECT NARRATIVE:

IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN DUST, ODOR, SMOKE, FUMES, NOISE, OR LIGHTS. THE BUILDING OCCUPANT WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS.



### SITE DATA:

- 1) SITE ZONING = I-1 (LIGHT INDUSTRIAL DISTRICT)
- 2) ADJACENT ZONING = I-1 (ALL ADJACENT PARCELS)
- 3) TOTAL GROSS OVERALL AREA = 44,681 SFT or 1.03 ACRES
- 4) TOTAL GROSS BUILDING AREA:  
PROPOSED FIRST FLOOR GROSS FLOOR AREA = 11,939 SFT (EXTERIOR)  
PROPOSED FIRST FLOOR USEABLE FLOOR AREA = 75% OF 11,939 = 8,954 SFT
- 5) MAXIMUM BUILDING HEIGHT ALLOWED = 40'-0"  
PROPOSED BUILDING HEIGHT = 1 STORY/16'-0"
- 6) MAXIMUM BUILDING COVERAGE ALLOWED = NONE SPECIFIED  
TOTAL BUILDING SITE COVERAGE = 11939/44681 = 26.7% or 27%
- 7) PARKING SPACE & LANE SIZE REQUIREMENTS:  
a) REGULAR PARKING SPACE = 9' x 20'  
b) BARRIER FREE SPACE = 9' x 20' W/8' AISLE (VAN ACCESSIBLE)  
c) DRIVE AISLE WIDTH = 24' (MIN)
- 8) PARKING REQUIRED (INDUSTRIAL OR RESEARCH ESTABLISHMENTS):  
A MINIMUM OF FIVE (5), PLUS ONE (1) FOR EACH 1.2 OFFICE EMPLOYEES AND ONE (1) FOR EACH 2.3 FACTORY EMPLOYEES IN THE LARGEST WORKING SHIFT OR ONE (1) FOR EVERY FIVE HUNDRED FIFTY (550) SQUARE FEET OF USABLE FLOOR SPACE, OR WHICHEVER IS DETERMINED TO BE THE GREATER. SPACE ON SITE SHALL ALSO BE PROVIDED FOR ALL CONSTRUCTION WORKERS DURING PERIODS OF PLANT CONSTRUCTION.  
TOTAL SPACES REQUIRED = 8954/550 = 16.3 SPACES
- 9) SITE PARKING REQUIRED & PROVIDED:  
TOTAL PARKING REQUIRED = 16; PROVIDED = 17
- 10) BARRIER FREE PARKING REQUIRED:  
BARRIER FREE PARKING REQUIRED = 1, PROVIDED = 1
- 11) LOADING SPACES REQUIRED & PROVIDED = 1
- 12) EXISTING LAND USE = VACANT LAND
- 13) PROPOSED LAND USE = MARIJUANA GROW FACILITY
- 14) PROP SITE ADDRESS = 1471 McMILLAN AVENUE

### SITE PLAN NOTES:

1. ANY AND ALL OUTDOOR MECHANICAL GROUND EQUIPMENT MUST BE SCREENED WITH ARBORVITAE TREES. SEE DETAIL ON SHEET C-6.
2. THERE WILL BE NO OUTSIDE STORAGE ON-SITE, OTHER THAN THAT WHICH IS REQUIRED FOR CONSTRUCTION ACTIVITIES.
3. USE 2'-4" COBBLE STONE IN SWALE DITCHES ALONG THE EDGES, AS SHOWN, OF THE PROPOSED PARKING LOT.

| LEGEND |                                     |     |
|--------|-------------------------------------|-----|
|        | EX ROAD SIGNS                       | B/B |
|        | EX UTILITY & LIGHT POLE             | EX  |
|        | EX OVERHEAD POWERLINES              |     |
|        | EX STREET LIGHT POLE                |     |
|        | EX PEDESTAL                         |     |
|        | EX BUILDING LINE                    |     |
|        | EX GAS LINE                         |     |
|        | EX GAS/ELEC METER                   |     |
|        | EX STORM SEWER                      |     |
|        | EX STORM MANHOLE                    |     |
|        | EX STORM CATCHBASINS                |     |
|        | EX SANITARY SEWER                   |     |
|        | EX SANITARY MANHOLE                 |     |
|        | EX SANITARY CLEANOUT                |     |
|        | EX WATERMAIN                        |     |
|        | EX FIRE HYDRANT                     |     |
|        | EX WATER MANHOLE                    |     |
|        | EX GATEVALVE                        |     |
|        | EX CHAIN LINK FENCE                 |     |
|        | EX WOOD FENCE                       |     |
|        | EX CONTOUR ELEVATION                |     |
|        | EX WOODS AREA                       |     |
|        | EX TREE                             |     |
|        | FOUND MONUMENTATION                 |     |
|        | BACK TO BACK                        |     |
|        | EXISTING                            |     |
|        | EX BUILDING AREA                    |     |
|        | EX PAVEMENT AREAS                   |     |
|        | PROP PARKING SPACE NO.              |     |
|        | PROP BARRIER FREE (ADA) PARKING     |     |
|        | PROP PAINTED TRAFFIC FLOW ARROW     |     |
|        | PROP WALL PACK LIGHT                |     |
|        | PROP CONCRETE AREAS                 |     |
|        | PROP BUILDING AREA                  |     |
|        | PROP ASPHALT PAVING PAVEMENT        |     |
|        | PROP HEAVY DUTY PAVEMENT            |     |
|        | PROP STORM CATCHBASIN               |     |
|        | PROP STORM SEWER                    |     |
|        | PROP ROOF DRAINS                    |     |
|        | PROP ROOF DRAIN CLEANOUT            |     |
|        | PROP SANITARY CLEANOUT              |     |
|        | PROP WATER SHUT-OFF VALVE           |     |
|        | PROP WATER LEAD LINE                |     |
|        | PROP ELEC TRANSFORMER & BURIED LINE |     |
|        | PROP GAS METER & BURIED LINE        |     |

## SHEET INDEX

|  |     |
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| STANDARD CONSTRUCTION DETAILS            | C-5 |
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| SITE LIGHTING PLAN & NOTES               | C-7 |
| PROPOSED BUILDING FLOOR PLAN             | A-2 |
| PROPOSED BUILDING ELEVATIONS             | A-3 |

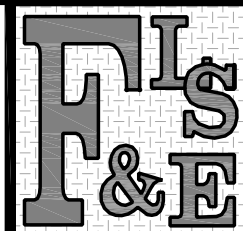


SCALE: 1"=20'

JOB NO. 21-179

OWNER/DEVELOPER:  
**PETER DAWIDOWIC**  
OWOSSO, MI 48867  
PHONE: 248.388.8771  
EMAIL: PETER234@YAHOO.COM

PART OF THE NORTHEAST 1/4,  
OF SECTION 30, T7N-R3E  
OWOSSO, SHIAWASSEE CO, MI



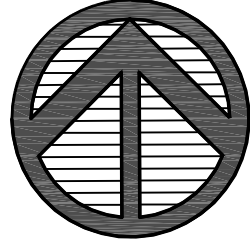
**Fenton Land Surveying & Engineering, Inc**  
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430  
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

SITE PLAN LAYOUT & COVER SHEET FOR:  
**MARIJUANA GROW FACILITY**  
V/L McMILLAN AVENUE, OWOSSO, MI 48867

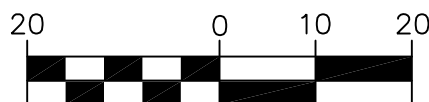
| REVISIONS  | DRN. BY:  | J.R.B. | 06.29.2021 | SHEET NO: |
|------------|-----------|--------|------------|-----------|
| 07.05.2021 | DSN BY:   | J.R.B. | "          | C-1       |
|            | CHK'D BY: | J.P.W. | "          |           |
|            | APPR BY:  | J.B.M. | "          |           |



NORTH



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

### EXISTING ZONING INFORMATION:

ACCORDING TO THE CURRENT CITY OF OWOSSO ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED I-1 (LIGHT INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT SIZE = NONE
- 2) MINIMUM LOT WIDTH = NONE
- 3) FRONT SETBACK (Q) = 40 FEET
- 4) SIDE SETBACK = 20 FEET
- 5) REAR SETBACK (S) = NONE
- 6) MAXIMUM BUILDING HEIGHT = 40 FEET
- 7) MAXIMUM BUILDING COVERAGE = NONE

Q) OFF-STREET PARKING FOR VISITORS, OVER AND ABOVE THE NUMBER OF SPACES REQUIRED UNDER SECTION 38-380, MAY BE PERMITTED WITHIN THE REQUIRED FRONT YARD PROVIDED THAT SUCH OFF-STREET PARKING SPACES ARE NOT LOCATED WITHIN TWENTY (20) FEET OF THE FRONT LOT LINE.

S) ALL STORAGE SHALL BE IN THE REAR YARD AND SHALL BE COMPLETELY SCREENED WITH AN OBSCURING WALL OR FENCE, NOT LESS THAN SIX (6) FEET HIGH, OR WITH A CHAIN LINK TYPE FENCE AND A GREENBELT PLANTING SO AS TO OBSCURE ALL VIEW FROM ANY ADJACENT RESIDENTIAL, OFFICE OR BUSINESS DISTRICT.

### UTILITY NOTE:

THE PROPERTY CURRENTLY HAS ACCESS TO PUBLIC UTILITIES SUCH AS WATERMAIN, SANITARY SEWER, STORM SEWER, ELECTRIC AND GAS.

### FLOOD PLAIN NOTE:

THIS PROPERTY IS IN ZONE "X" (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26155C0232C WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

### SURVEYOR NOTES:

1. DATE OF LAST FIELD WORK WAS APRIL 16, 2021
2. THE BEARINGS ARE RELATIVE TO THE DESCRIPTION PROVIDED BY THE CLIENT
3. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
4. REFERENCE DRAWING BY LANDMARK SURVEYING, JOB NO. 27332, DATED FEBRUARY 11, 2020.
5. THERE ARE NO OTHER VISIBLE IMPROVEMENTS ON THE SUBJECT PROPERTY, OTHER THAN AS SHOWN HEREON THE ACCOMPANYING DRAWINGS.
6. PER OBSERVATION, THERE IS NO EVIDENCE OF EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS; THERE IS NO EVIDENCE OF CHANGES TO RIGHT OF WAY LINES, OR STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
7. TOTAL PROPERTY AREA = 44,681 SFT or 1.03 ACRES

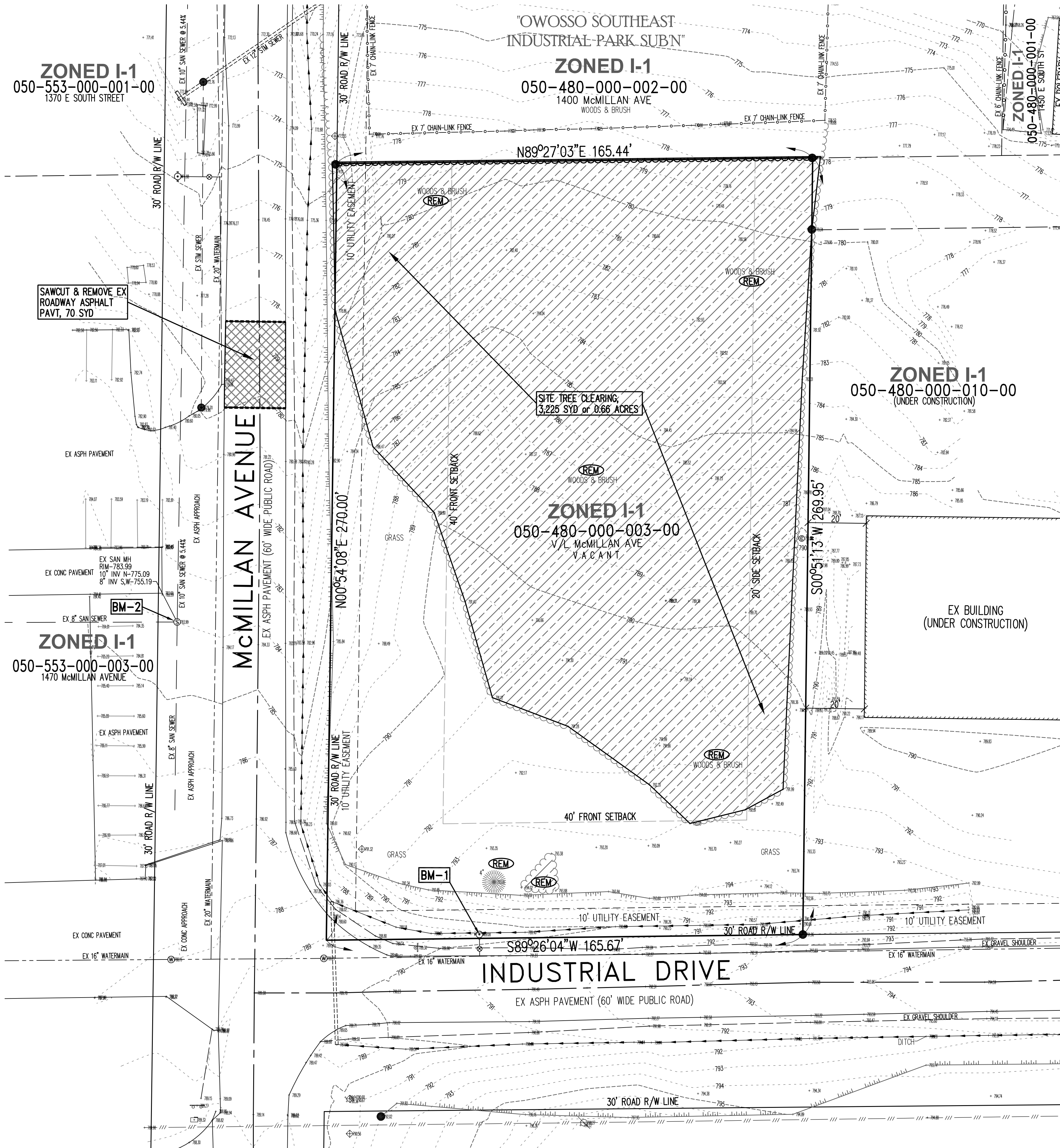
### UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

### PROPERTY DESCRIPTION

PARCEL NUMBER 050-480-000-003-00, V/L McMILLAN AVENUE THE WEST 1/2 OF LOT 2, "OWOSSO SOUTHEAST INDUSTRIAL PARK", PART OF THE NE 1/4 OF SECTION 30, T7N-R3E, CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN, AS RECORDED IN LIBER 14, PAGES 25, SHIAWASSEE COUNTY RECORDS.

### SURVEY OF EXISTING CONDITIONS

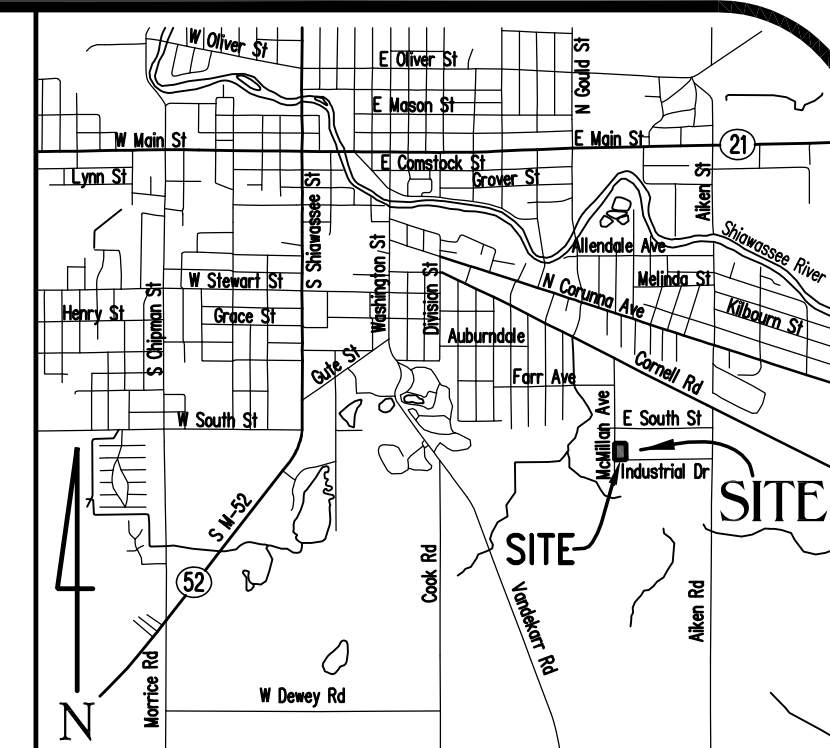


### BENCHMARK NO. 1

ARROW ON FIRE HYDRANT LOCATED AT NORTH LINE OF INDUSTRIAL DRIVE AND 50'± EAST OF McMILLAN AVE., AS SHOWN ELEVATION-790.97 (NAVD88)

### BENCHMARK NO. 2

NORTH EDGE OF THE EXISTING SANITARY SEWER MANHOLE, WEST SIDE OF McMILLAN AVENUE, AS SHOWN ELEVATION-783.99 (NAVD88)



### LEGEND

|  |                         |  |                       |
|--|-------------------------|--|-----------------------|
|  | FOUND MONUMENTATION     |  | EX SURFACE ELEVATION  |
|  | EX ROAD SIGNS           |  | EX CONTOUR ELEVATION  |
|  | EX UTILITY & LIGHT POLE |  | EX CONIFEROUS TREE    |
|  | EX OVERHEAD POWERLINES  |  | EX BRUSH AREA         |
|  | EX STREET LIGHT POLE    |  | CONCRETE              |
|  | EX PEDESTAL             |  | ASPHALT               |
|  | EX BUILDING LINE        |  | BACK TO BACK          |
|  | EX GAS LINE             |  | EDGE TO EDGE          |
|  | EX GASMAIN MARKER/SIGN  |  | EXISTING              |
|  | EX GAS/ELEC METER       |  | EX BUILDING AREA      |
|  | EX STORM SEWER          |  | EX ASPH AREAS         |
|  | EX STORM MANHOLE        |  | EX CONC AREAS         |
|  | EX STORM CATCHBASINS    |  | EX DRAINAGE FLOW      |
|  | EX SANITARY SEWER       |  | TREE CLEARING/REMOVAL |
|  | EX SANITARY MANHOLE     |  | PAVEMENT REMOVAL      |
|  | EX SANITARY CLEANOUT    |  | SAW-CUT PAVEMENT      |
|  | EX WATERMAIN            |  | REMOVE ITEM(S)        |
|  | EX FIRE HYDRANT         |  | RECONSTRUCT ITEM(S)   |
|  | EX WATER MANHOLE        |  |                       |
|  | EX GATEVALE             |  |                       |

### DEMOLITION NOTES:

A. PRIOR TO BEGINNING ANY OF THIS WORK, THE CONTRACTOR SHALL NOTIFY CITY OF OWOSSO AND FILL OUT THE NECESSARY FORMS OR PERMITS. THE CONTRACTOR SHALL CUT AND SEAL THE EXISTING SANITARY LEAD AT THE PROPERTY LINE AND SHALL DISCONNECT THE EXISTING WATER SERVICE LEAD AT THE CURB BOX SHUT-OFF VALVE ON THE HOUSE SIDE OF THE VALVE, IF REQUIRED.

B. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MIOSHA REGULATIONS INsofar AS THEY APPLY TO THE REQUIRED WORK. A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT WILL BE REQUIRED PRIOR TO DEMOLITION.

C. THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, FENCES, BUILDINGS, CURB, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

D. ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE ALLOWED WITHOUT PROPER PERMISSION. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.

E. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY, IF APPLICABLE.

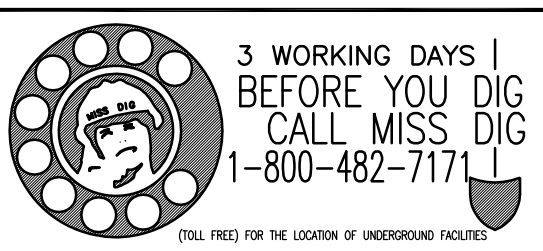
F. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.

G. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION. ALL PROTECTIVE DEVICES AND BARRIERS SHALL BE REMOVED.

H. THE CONTRACTOR MIGHT WANT TO VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION WORK WHICH MAY OR MAY NOT BE SHOWN ON THE PLANS.

### SURVEYORS CERTIFICATE:

I, JASON P. WHITE, HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED UNDER MY DIRECT SUPERVISION, AND THAT THE TOPOGRAPHY SHOWN ON THIS DRAWING WAS COMPILED OF A GROUND SURVEY. NO PROPERTY CORNERS WERE SET AT THE TIME OF THE TOPOGRAPHY SURVEY. THE LAST DATE OF FIELD WORK WAS APRIL 20, 2021

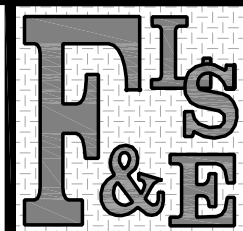


SCALE: 1"=20'

JOB NO. 21-179

OWNER/DEVELOPER:  
**PETER DAWIDOWIC**  
OWOSSO, MI 48867  
PHONE: 248.388.8771  
EMAIL: PETER234@YAHOO.COM

PART OF THE NORTHEAST 1/4,  
OF SECTION 30, T7N-R3E  
OWOSSO, SHIAWASSEE CO, MI



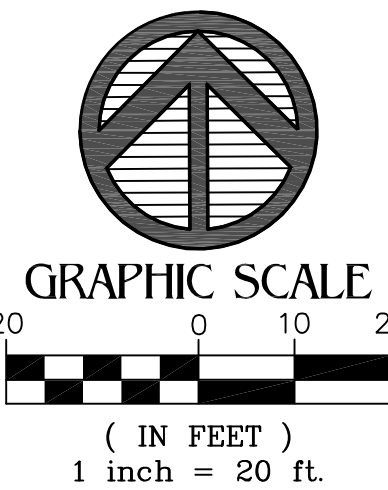
**Fenton Land Surveying & Engineering, Inc**  
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430  
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

SURVEY OF EXISTING CONDITIONS & REMOVAL PLAN FOR:  
**MARIHUANA GROW FACILITY**  
V/L McMILLAN AVENUE, OWOSSO, MI 48867

| REVISIONS | DRN. BY:  | J.R.B. | 06.29.2021 | SHEET NO:<br><br>C-2 |
|-----------|-----------|--------|------------|----------------------|
|           | DSN BY:   | J.R.B. | "          |                      |
|           | CHK'D BY: | J.P.W. | "          |                      |
|           | APPR BY:  | J.P.W. | "          |                      |



NORTH

**BENCHMARK NO. 1**

ARROW ON FIRE HYDRANT LOCATED AT NORTH LINE OF INDUSTRIAL DRIVE AND 50'± EAST OF McMILLAN AVE., AS SHOWN ELEVATION=790.97 (NAVD88)

**BENCHMARK NO. 2**

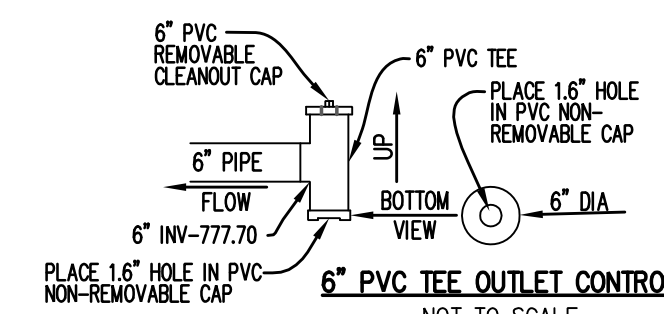
NORTH EDGE OF THE EXISTING SANITARY SEWER MANHOLE, WEST SIDE OF McMILLAN AVENUE, AS SHOWN ELEVATION=783.99 (NAVD88)

**GRADING, DRAINAGE, PAVING & UTILITY PLAN**

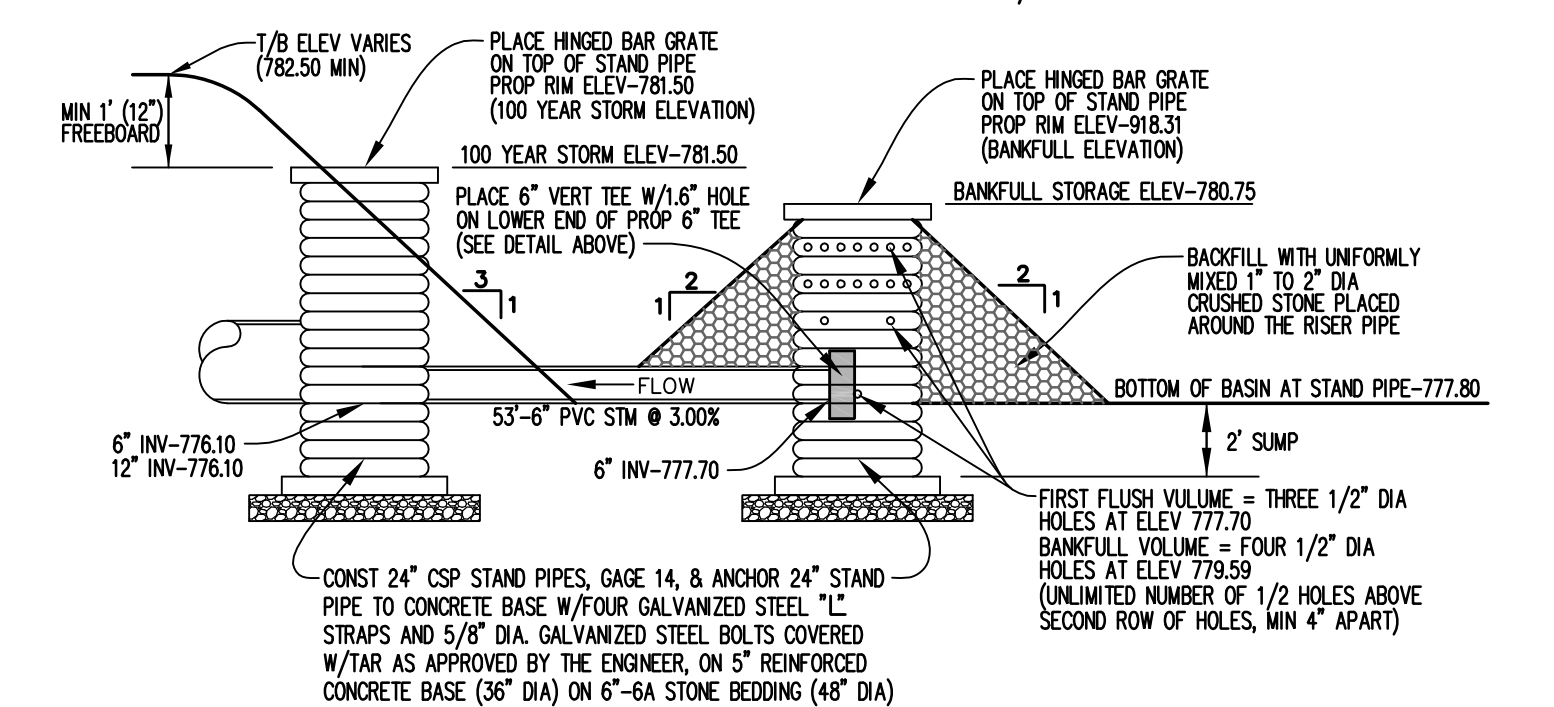
**ZONED I-1**  
050-553-000-001-00  
1370 E SOUTH STREET

**ZONED I-1**  
050-480-000-002-00  
1400 McMILLAN AVE  
WOODS & BRUSH

**ZONED I-1**  
050-480-000-010-00  
(UNDER CONSTRUCTION)



100 YEAR STORM STORAGE VOLUME SUMMARY:  
TOTAL ACRES = 0.68 ACRES  
WEIGHTED RUNOFF COEFFICIENT = 0.75  
ALLOWABLE OUTFLOW = 0.20 x 0.68 = 0.136 CFS/ACRE  
VOLUME REQUIRED = 6.412 CFT  
100 YEAR HIGHWATER ELEVATION = 777.50  
PROPOSED 6 INCH OUTLET PIPE INVERT = 777.70  
PLACE 6 INCH CAP W/1.6 INCH HOLE AT ELEVATION 777.70

**DETAIL FOR STAND PIPE OUTLET IN DETENTION BASIN FOR EROSION CONTROL**

| OWOSSO GROW FACILITY - McMILLAN AVE - DRAINAGE AREA                                    |               |                         |                             |                      |
|--|---------------|-------------------------|-----------------------------|----------------------|
| 100 YEAR STORM EVENT REQUIRED STORAGE VOLUME   |               |                         |                             |                      |
| Site Drainage Area =   | 37.525        | Sft                     | 0.680                       | Acres                |
| Weighted Runoff Coefficient  |               |                         |                             |                      |
| On-site Type of Surfaces   | Total Sft     | Multiply                | Runoff Coeff                | Value                |
| Lawn Area  | 11,722        | X                       | 0.30                        | 3,517                |
| Gravel Area  | 0             | X                       | 0.90                        | 0                    |
| Pavement Area  | 13,869        | X                       | 0.90                        | 12,482               |
| Roof Area  | 11,934        | X                       | 0.95                        | 11,337               |
| Totals   | 37,525        |                         |                             | 27,336               |
| Weighted "C" Formula = 27,336 / 37,525 = 0.728   |               |                         |                             |                      |
| Site Weighted "C" Factor =   |               |                         |                             | 0.750                |
| Q Allowable (Per Shiawassee County Drain Commissioner)                                 |               |                         |                             |                      |
| Q Allowable (Qa)   | =             |                         |                             | 0.20 cfs/acre        |
| Total Site Qa  | 0.86 x 0.20 = |                         |                             | 0.136 cfs            |
| Total Site Allowable Outflow (Qo)  |               |                         |                             |                      |
| Qo = Qa/(Ax C) = 0.172/(0.68 x 0.75) =   | Qo =          |                         |                             | 0.27 Cfs/Acre imperv |
| Storage Time (T) (In Minutes that Maximum Storage will Occur)                          |               |                         |                             |                      |
| T = -25+SQRT(10312.5/Qo) = -25+SQRT(10312.5/0.27) =                                    | T =           |                         |                             | 171.65 Minutes       |
| Maximum Volume of Storage per acre of Imperviousness (Vs)                              |               |                         |                             |                      |
| Vs = 16500xT/(T+25)+40xQoT<br>= 16500x171.65/(171.65+25)+40x0.27x171.65 =              | Vs =          |                         | 12571.43                    | Cft/Acre imperv      |
| Total Volume of Storage Required (Vt)  |               |                         |                             |                      |
| Vt = Vs x A x C = 12571.43x0.68x0.75 =   | Vt            |                         | 6,411                       | Cft                  |
| 100 Year Highwater Elevation =   | Elevation =   |                         | 781.50                      |                      |
| Detention Basin Outlet Invert Elevation =  | Elevation =   |                         | 777.70                      |                      |
| Bankfull Flood Storage Volume  |               |                         |                             |                      |
| Bankfull Volume = 8349xAxC = 8349 x 0.68 x 0.75 =                                      | Volume =      |                         | 4,258                       | Cft                  |
| Bankfull Flood Elevation =   | Elevation =   |                         | 780.72                      |                      |
| First Flush Storage Volume (First 1" of Rain)  |               |                         |                             |                      |
| First Flush Volume = 3630xAxC = 3630 x 0.68 x 0.75 =                                   | Volume =      |                         | 1,850                       | Cft                  |
| First Flush Elevation =  | Elevation =   |                         | 779.59                      |                      |
| Proposed 24 Inch Perforated Riser Design   |               |                         |                             |                      |
| Qff = FFVol / 24 Hrs / 3600 Sec = 1850/24/3600   | Qff =         |                         | 0.021                       | cfs                  |
| h(avg) = 2/3 (FFelev - Outlet Invert) = 2/3(779.59-777.70) =                           | h(avg) =      |                         | 1.260                       | Ft                   |
| A = Qff/0.62SQRT(64.4 x h(avg)) = 0.021/0.62SQRT(64.4x1.26) =                          | A =           |                         | 0.0038                      | Sft                  |
| Orifice Area = 1/2 inch Diameter   | Orifice =     |                         | 0.0014                      |                      |
| A / Orifice = 0.0038/0.0014 =  | # of Holes =  |                         | 2.81                        | 3 Holes              |
| Invert Elevation of 1/2 Inch Diameter Holes =  | Invert =      |                         | 777.70                      | Elevation            |
| Bankfull Flood Formula   |               |                         |                             |                      |
| h(avg) = 2/3 (BFelev - Outlet Invert) = 2/3(780.72-777.70) =                           | h(avg) =      |                         | 2.01                        | Ft                   |
| Q90 = 0.62(FFHoles)(Orifice diameter)/SQRT(64.4xh(avg)) =                              | Q90 =         |                         | 0.027                       | cfs                  |
| T90 = (1 sec/Q90)(1hr/3600sec)(BFVol) =  | T90 =         |                         | 43.7                        | Hours                |
| Volume Thru First Flush = (Q90)(24hrs)(3600sec/hr) =                                   | Volume =      |                         | 2,339                       | Cft                  |
| Remaining Volume = BFVol - Vol ThruFF = 4,258-2,339 =                                  | Volume =      |                         | 1,919                       | Cft                  |
| Qbf = (RemVol / 24 Hrs / 3600 Sec) = 1,919/24/3600                                     | Qbf =         |                         | 0.022                       | cfs                  |
| h(avg) = 2/3 (BF-FF) = 2/3(780.72 - 779.59) =  | h(avg) =      |                         | 0.75                        | Ft                   |
| A = Qbf/0.62SQRT(64.4 x h(avg)) = 0.022/0.62SQRT(64.4x0.75) =                          | A =           |                         | 0.0051                      | Sft                  |
| Orifice Area = 1/2 inch Diameter   | Orifice =     |                         | 0.0014                      |                      |
| A / Orifice = 0.0051/0.0014 =  | # of Holes =  |                         | 3.77                        | 4 Holes              |
| Invert Elevation of 1/2 Inch Diameter Holes =  | Invert =      |                         | 779.59                      | Elevation            |
| Outlet Pipe Flow Design (Restrictor Pipe)  |               |                         |                             |                      |
| Qtotal Formula = 0.62A x (2gh) <sup>0.5</sup>  |               |                         |                             |                      |
| Acceleration due to Gravity  | g =           |                         | 32.2                        | feet/s <sup>2</sup>  |
| Head on Pipe   | H =           |                         | 3.73                        | Ft                   |
| Diameter of Pipe   | D =           |                         | 1.61                        | Inch                 |
| Cross-section area of pipe   | A =           |                         | 0.014                       | Sft                  |
| Discharge  | Q =           |                         | 0.136                       | cfs                  |
| Total Site Q Allowable   | Qa =          |                         | 0.136                       | cfs                  |
| OWOSSO GROW - McMILLAN AVE - DETENTION VOLUME PROVIDED                                 |               |                         |                             |                      |
| Total Storage Volume Provided in Detention Basin (100 Year Highwater Elevation 781.50) |               |                         |                             |                      |
| Water Surface Elevation (Feet)   | Area (Sft)    | Difference in Elevation | Incremental 42" Pipe Volume | Total                |
| 777.80   | 15            |                         | 0                           | 0                    |
| 778.00   | 133           | 0.2                     | 14.8                        | 14.8                 |
| 778.50   | 418           | 0.5                     | 137.75                      | 151                  |
| 779.50   | 1113          | 1                       | 765.5                       | 958                  |
| 780.50   | 1880          | 1                       | 1496.5                      | 2375.55              |
| 781.50   | 2657          | 1                       | 2268.5                      | 4642.05              |
| 782.50   | 3480          | 1                       | 3068.5                      | 7750.55              |
| Storage Volume Provided (At 781.5) = 6,412 Cft > 6,411 Cft Storage Volume Required     |               |                         |                             |                      |

| DRAINAGE STRUCTURE SCHEDULE  |   |   |
|--|---|---|
| NOTE: CONSTRUCT PER CITY OF OWOSSO STANDARD DRAINAGE STRUCTURE & STORM SEWER CONSTRUCTION DETAILS  |   |   |
| DRAINAGE STRUCT NO 1 (DS-1)<br>CONST 4" DIA MANHOLE<br>W/MDOT COVER E FRAME<br>PROP RIM=778.00<br>PROP 12" INV N=773.40<br>PROP 12" INV S=773.50<br>PROP 12" INV SE=773.50 | DRAINAGE STRUCT NO 3 (DS-3)<br>CONST 4" DIA MANHOLE<br>W/MDOT COVER K & FRAME<br>PROP RIM=782.50<br>PROP 24" INV SE=778.20<br>PROP 12" INV S=779.50 | STAND PIPE NO. 1 (SP-1)<br>CONST 24" DIA CSP OUTLET<br>CONTROL STRUCTURE<br>(SEE DETAIL THIS SHEET)<br>PROP RIM=780.75 (BANKFULL)<br>PROP 6" INV NW=777.70                              |
| DRAINAGE STRUCT NO 2 (DS-2)<br>CONST 4" DIA MANHOLE<br>W/MDOT COVER E FRAME<br>PROP RIM=785.00<br>PROP 24" INV NW=778.10<br>PROP 8" INV SW=782.60                          | DRAINAGE STRUCT NO 4 (DS-4)<br>CONST 4" DIA MANHOLE<br>W/MDOT COVER E FRAME<br>PROP RIM=784.80<br>PROP 12" INV N=781.50<br>PROP 8" INV E=781.70     | STAND PIPE NO. 1A (SP-1A)<br>CONST 24" DIA CSP OUTLET<br>CONTROL STRUCTURE<br>(SEE DETAIL THIS SHEET)<br>PROP RIM=781.50 (100 YR HW)<br>PROP 6" INV SE=776.10<br>PROP 12" INV NW=776.10 |

| ROOF DRAIN (RD) STRUCTURE SCHEDULE  |   |   |
|---|---|---|
| NOTE: CONSTRUCT PER CITY OF OWOSSO STANDARD SANITARY SEWER CONSTRUCTION DETAILS   |   |   |
| ROOF DRAIN CLEANOUT NO 1 (RDC-1)<br>CONST 8" CLEANOUT RISER<br>(EJW 15732 FRAME & COVER)<br>PROP RIM=788.00<br>PROP 8" INV N=783.20<br>PROP 8" INV S=783.20 | ROOF DRAIN CLEANOUT NO 3 (RDC-3)<br>CONST 8" CLEANOUT RISER<br>(EJW 15732 FRAME & COVER)<br>PROP RIM=788.00<br>PROP 6" INV N=785.50                         | ROOF DRAIN CLEANOUT NO 5 (RDC-5)<br>CONST 8" CLEANOUT RISER<br>(EJW 15732 FRAME & COVER)<br>PROP RIM=788.00<br>PROP 8" INV N=784.70 |
| ROOF DRAIN CLEANOUT NO 2 (RDC-2)<br>CONST 8" CLEANOUT RISER<br>(EJW 15732 FRAME & COVER)<br>PROP RIM=788.00<br>PROP 8" INV N=784.70<br>PROP 8" INV S=784.70 | ROOF DRAIN CLEANOUT NO 4 (RDC-4)<br>CONST 8" CLEANOUT RISER<br>(EJW 15732 FRAME & COVER)<br>PROP RIM=788.00<br>PROP 8" INV N=783.20<br>PROP 8" INV S=783.20 | ROOF DRAIN CLEANOUT NO 6 (RDC-6)<br>CONST 8" CLEANOUT RISER<br>(EJW 15732 FRAME & COVER)<br>PROP RIM=788.00<br>PROP 6" INV N=785.50 |

| SANITARY SEWER STRUCTURE SCHEDULE   |   |  |
|---|---|--|
| NOTE: CONSTRUCT PER CITY OF OWOSSO STANDARD SANITARY SEWER CONSTRUCTION DETAILS   |   |  |
| SANITARY CLEANOUT NO 1 (SC-1)<br>CONST 6" CLEANOUT RISER<br>PLACE 6" PVC COVER<br>PROP RIM=782.50<br>PROP 6" INV E,W=777.20 | SANITARY CLEANOUT NO 2 (SC-2)<br>CONST 6" CLEANOUT RISER<br>PLACE 6" PVC COVER<br>PROP RIM=788.00<br>PROP 6" INV W,S=782.00 |  |

**CONSTRUCTION NOTES:**

- PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE. SEE SHEET C-5 FOR MISCELLANEOUS CONSTRUCTION DETAILS.
- THE PROPOSED STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) OR 30"-26" POLYVINYL CHLORIDE (PVC) PIPE. THE 42" UNDERGROUND STORMWATER DETENTION PIPE AND 42"x24" REDUCERS SHALL BE HOPE DUAL WALL WATER TIGHT PIPE, AS APPROVED EQUAL.
- ALL STORM SEWER UNDER PROPOSED PAVEMENT SHALL BE BACKFILLED WITH CLASS II SAND COMPACTED TO A MINIMUM 95% OF MAXIMUM UNIT WEIGHT BY MODIFIED PROCTOR FOR THE FULL DEPTH OF THE TRENCH.
- ALL DRAINAGE STRUCTURES SHALL HAVE 40' OF 4" UNDERGRAIN OUT OF EACH STRUCTURE. SEE SHEET C-5.
- THE CONTRACTOR SHALL CONSTRUCT ALL DRAINAGE STRUCTURES PER CITY DETAILS AND STANDARD SPECIFICATIONS. SEE SHEET C-5 FOR GENERAL NOTES.

**PUBLIC ROAD RIGHT OF WAY PERMIT:**

ANY WORK REQUIRED WITHIN THE CITY ROAD RIGHT-OF-WAY ON INDUSTRIAL DRIVE AND SOUTH STREET WILL REQUIRE A RIGHT-OF-WAY PERMIT. THE CONTRACTOR MUST CONTACT RANDY CHESNEY AT THE CITY OF OWOSSO ENGINEERING DEPARTMENT (989.725.0550) AND SECURE THE REQUIRED PERMIT AND BOND PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMIT, INCLUDING THE PROPER CONSTRUCTION TRAFFIC SCHEME.

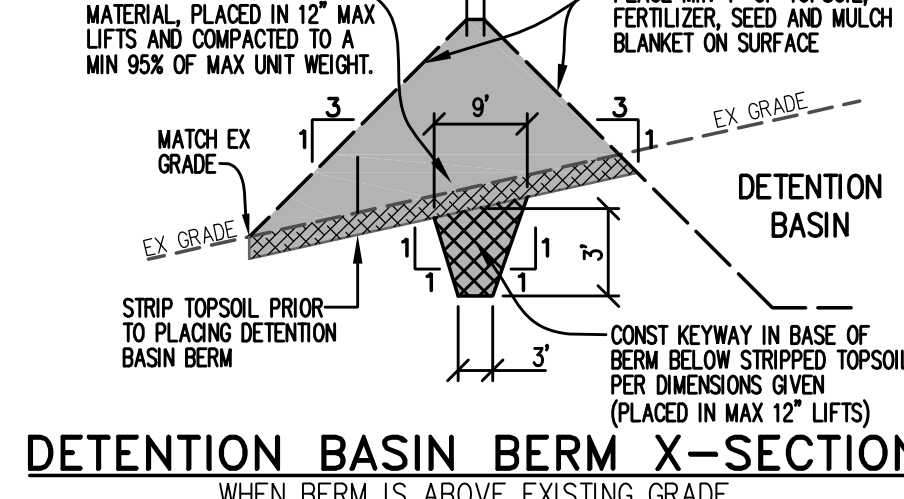
**GENERAL NOTES:**

- FOR PROTECTION OF UNDERGROUND UTILITIES AND IN COMPLIANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO BEGINNING EACH OCCUPATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISSING" ALERT SYSTEM.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION, AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS FOR WORK AT THE SITE. THIS SHALL INCLUDE ALL MICHIGAN REGULATIONS.
- THE CONTRACTOR SHALL CONTROL NOISE, CARRY OUT A PROGRAM OF DUST CONTROL, AND SHALL ALLOW NO ON-SITE BURNING, WITHOUT APPROVAL FROM LOCAL FIRE DEPARTMENTS.
- ALL WORK NECESSARY TO COMPLETE THIS PROJECT SHALL COMPLY WITH ALL RELATED CITY OF OWOSSO CODES AND ORDINANCES.
- IF ANY UTILITY POLES ARE IMPACTED BY CONSTRUCTION THEY SHALL BE PROTECTED AND SUPPORTED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN REASONABLE ACCESS TO AND FROM THE DRIVE LANES AND DRIVE OPENINGS DURING CONSTRUCTION. ALL WORK SHALL BE INCLUDED IN THE PRICE OF THE CONTRACT WORK.
- THE CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN PLASTIC DRAIN BARRIERS AS REQUIRED TO PROTECT THE TRAVELING PUBLIC DURING CONSTRUCTION OPERATIONS ON THIS PROJECT.
- ALL LAWN OR TURF AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED WITH 4" TOPSOIL SURFACE, SEED, FERTILIZER, MULCH, AND MULCH BLANKET IN ACCORDANCE WITH THE MICHIGAN 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- PUBLIC UTILITIES WHERE SHOWN ARE BASED ON INFORMATION PROVIDED BY THE UTILITY COMPANIES. NEITHER THE OWNER NOR THE ENGINEER ARE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- ALL PUBLIC UTILITIES WHICH ARE NOT TO BE MOVED SHALL BE PROTECTED AND SUPPORTED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL SAW CUTTING REQUIRED FOR THE REMOVAL OF PAVEMENT AREAS SHALL BE AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE OWNER AND/OR ENGINEER.
- THE CONTRACTOR MUST COORDINATE ALL PROJECT OPERATIONS WITH THE OWNER AND/OR ENGINEER PRIOR TO ANY REMOVALS. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER AND/OR ENGINEER PRIOR TO PROCEEDING WITH ANY PROJECT WORK.
- AT THE COMPLETION OF CONSTRUCTION THE CONTRACTOR MUST CLEAN AND REMOVE ALL DIRT AND DEBRIS FROM ALL PAVEMENT AREAS AS REQUIRED BY THE OWNER AND/OR ENGINEER.

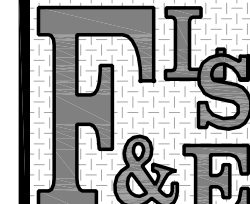
| LEGEND                           |                                      |  |
|----------------------------------|--------------------------------------|--|
| PROP BUILDING AREAS              | PROP CONC DUMPER WALL                |  |
| PROP CONCRETE AREAS              | PROP CURB & GUTTER, DET F4 (NORMAL)  |  |
| PROP HEAVY-DUTY ASPHALT AREAS    | PROP CURB & GUTTER, DET F4 (REVERSE) |  |
| PROP ROADWAY & APPROACH ASPHALT  | PROP SURFACE CONTOUR                 |  |
| PROP STORM CATCHBASIN            | PROP SURFACE ELEVATION               |  |
| PROP STORM MANHOLE               | PROP DRAINAGE FLOW ARROW             |  |
| PROP STORM SEWER                 | PROP SANITARY CLEANOUT               |  |
| PROP DRAINAGE STRUCTURE NO       | PROP SANITARY SEWER LEAD             |  |
| PROP STORM DRAIN                 | PROP SANITARY STRUCTURE NO           |  |
| PROP STORM DRAIN CLEANOUT        | PROP WATER VALVE                     |  |
| PROP STORM DRAIN STRUCTURE NO    | PROP WATER LEAD LINE                 |  |
| PROP CENTERLINE OF FLOW OR DITCH | PROP BURIED ELEC LINE                |  |
| DRAINAGE BOUNDARY AREA           | PROP BURIED GAS LINE                 |  |

**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



PART OF THE NORTHEAST 1/4,  
OF SECTION 30, T7N-R3E  
OWOSSO, SHIAWASSEE CO, MI

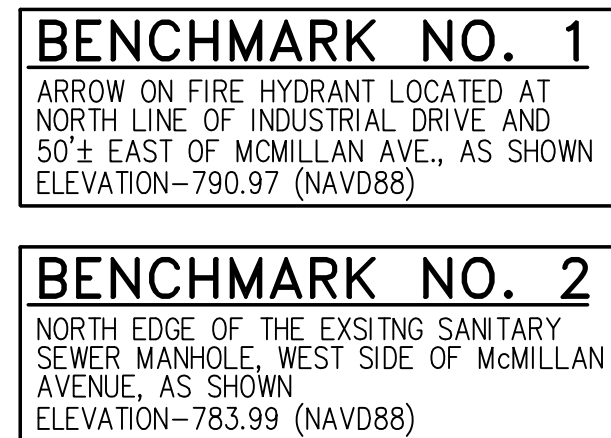


Fenton Land Surveying & Engineering, Inc  
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430  
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

GRADING, DRAINAGE, PAVING & UTILITY PLAN FOR:  
MARIHUANA GROW FACILITY  
V/L McMILLAN AVENUE, OWOSSO, MI 48867

| REVISIONS  | DRN. BY:  | J.R.B. | 06.29.2021 | SHEET NO: |
|------------|-----------|--------|------------|-----------|
| 07.05.2021 | DSN BY:   | J.R.B. | "          | C-3       |
|            | CHK'D BY: | J.P.W. | "          |           |
|            | APPR BY:  | J.B.M. | "          |           |

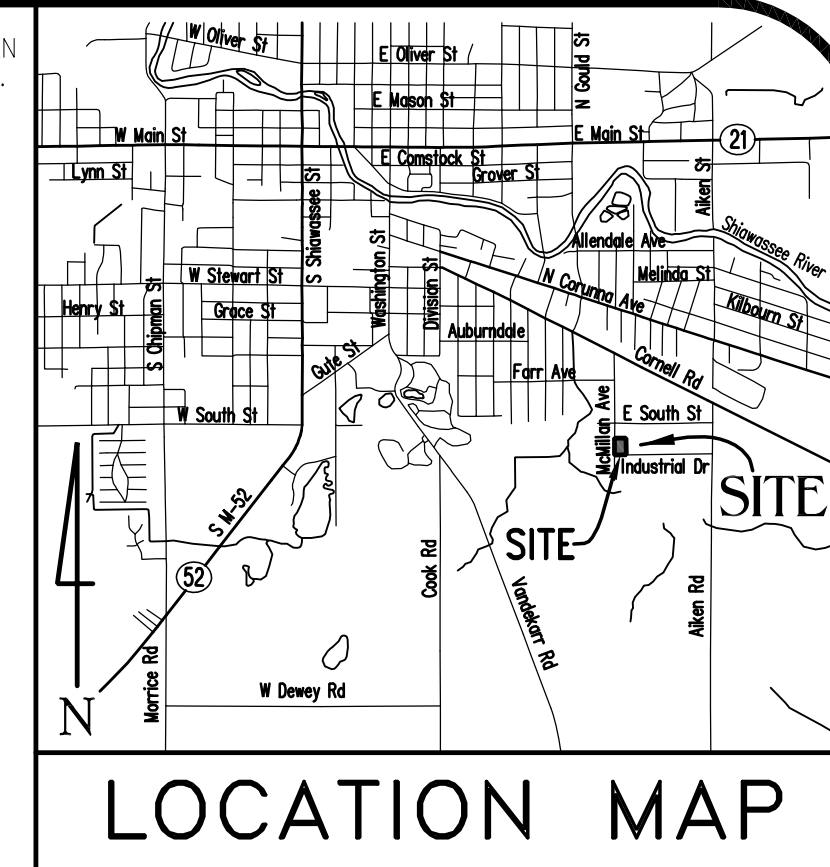




THE CONTRACTOR MUST MUST CONTACT RANDY CHESNEY AT THE CITY OF OWOSSO ENGINEERING DEPARTMENT (989.725.0550) AND SECURE THE REQUIRED PERMIT AND BOND PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMIT, INCLUDING THE PROPER CONSTRUCTION TRAFFIC SIGNAGE.

Diagram illustrating the roll joint for a silt fence. The diagram shows two sections of the fence being joined. Key components and labels include:

- SPACING 6-10' MAX.**: Indicated between the two fence sections.
- ROLL JOINT**: The point where the two sections meet.
- FENCE POSTS DRIVE INTO GROUND 1' MIN.**: Points to the vertical posts supporting the fence.
- 6" ANCHOR TRENCH**: A trench cut into the ground to secure the fence base.
- 1' MIN.**: The minimum distance from the trench to the fence post.
- SILT FENCE B**: The specific type of fence material shown.
- FABRIC TO BE WRAPPED AROUND FENCE POST**: Instruction for how to install the fabric.
- GEOTEXTILE FILTER FABRIC FASTENED ON UPHILL SIDE TOWARDS EARTH DISRUPTION**: Instruction for the orientation of the fabric.
- RIDGE OF COMPACTED EARTH ON UPHILL SIDE OF FILTER FABRIC**: The intended result of the filtration process.
- SHEET FLOW**: The direction of water movement through the fabric.
- UNDISTURBED VEGETATION**: The area protected by the fence.
- 1' MIN.**: The minimum distance from the vegetation to the fence.
- 6"x6" ANCHOR TRENCH**: A larger trench used for additional anchoring.



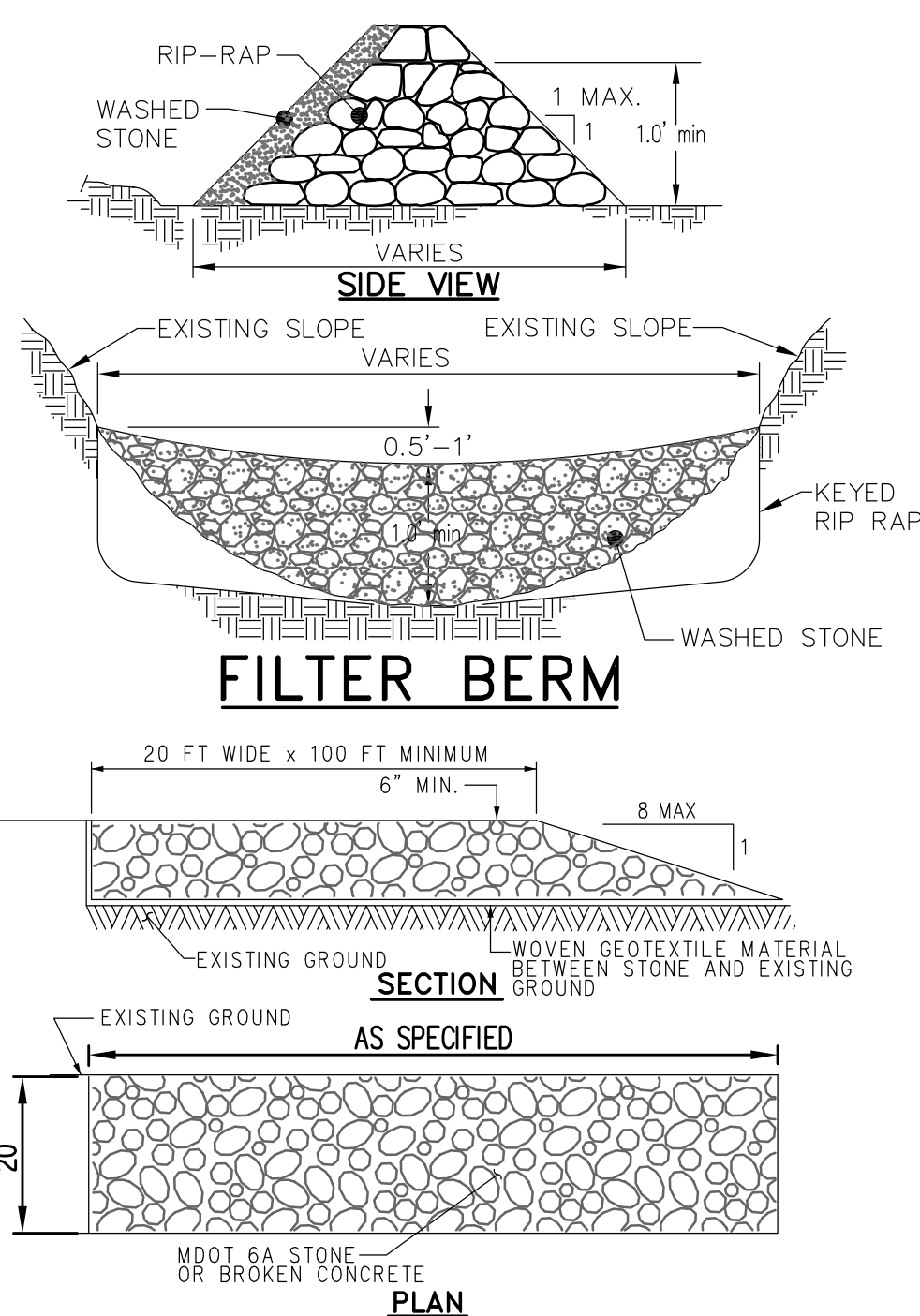
| DRAINAGE  |  | STRUCTURE                   |  | SCHEDULE                           |  |
|---|--|-----------------------------|--|------------------------------------|--|
| NOTE: CONSTRUCT PER CITY OF OMAHA STANDARD DRAINAGE STRUCTURE & STORM SEWER CONSTRUCTION DETAILS. |  |                             |  |                                    |  |
| DRAINAGE STRUCT NO 1 (DS-1)   |  | DRAINAGE STRUCT NO 3 (DS-3) |  | STAND PIPE NO. 1 (SP-1)            |  |
| CONST 4" DIA MANHOLE  |  | CONST 4" DIA MANHOLE        |  | CONST 24" DIA CSP OUTLET           |  |
| W/MDOT COVER E FRAME  |  | W/MDOT COVER K & FRAME      |  | CONTROL STRUCTURE                  |  |
| PROP 10' INV NW-775.50  |  | PROP 10' INV NW-782.50      |  | (SEE DETAIL THIS SHEET)            |  |
| PROP 12" INV NW-773.40  |  | PROP 24" INV SE-778.20      |  | PROP 10' INV NW-780.75 (BANKFULL)  |  |
| PROP 12" INV SW-773.50  |  | PROP 12" INV SW-779.50      |  | PROP 6" INV NW-777.00              |  |
| PROP 12" INV SW-773.50  |  |                             |  |                                    |  |
| DRAINAGE STRUCT NO 2 (DS-2)   |  | DRAINAGE STRUCT NO 4 (DS-4) |  | STAND PIPE NO. 1A (SP-1A)          |  |
| CONST 4" DIA MANHOLE  |  | CONST 4" DIA MANHOLE        |  | CONST 24" DIA CSP OUTLET           |  |
| W/MDOT COVER E FRAME  |  | W/MDOT COVER E FRAME        |  | CONTROL STRUCTURE                  |  |
| PROP 10' INV NW-785.00  |  | PROP 10' INV NW-784.80      |  | (SEE DETAIL THIS SHEET)            |  |
| PROP 24" INV NW-778.10  |  | PROP 12" INV N-781.50       |  | PROP 10' INV NW-780.75 (10' WY HW) |  |
| PROP 8" INV SW-782.60   |  | PROP 8" INV E-781.70        |  | PROP 6" INV SE-776.10              |  |
|   |  |                             |  | PROP 12" INV NW-776.10             |  |

### CONSTRUCTION NOTES:

1. PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE. SEE SHEET C-5 FOR MISCELLANEOUS CONSTRUCTION DETAILS.
2. THE PROPOSED STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) OR SDR-26 POLYVINYL CHLORIDE (PVC) PIPE. THE 42" UNDERGROUND STORMWATER DETENTION PIPE, 42"x24" REDUCERS SHALL BE HOPE DUAL WALL WATERBURY PIPE, OR APPROVED EQUAL.
3. ALL STORM SEWER UNDER PROPOSED PAVEMENT SHALL BE BACKFILLED WITH CLASS II SAND COMPACTED TO A MINIMUM 95% OF MAXIMUM UNIT WEIGHT BY MODIFIED PROCTOR FOR THE FULL DEPTH OF THE TRENCH.
4. ALL DRAINAGE STRUCTURES SHALL HAVE 40' OF 4" UNDERDRAIN OUT OF EACH STRUCTURE. SEE SHEET C-5.
5. THE CONTRACTOR SHALL CONSTRUCT ALL DRAINAGE STRUCTURES PER CITY DETAILS AND STANDARD SPECIFICATIONS. SEE SHEET C-5 FOR GENERAL NOTES.

## PUBLIC ROAD RIGHT OF WAY PERMIT:

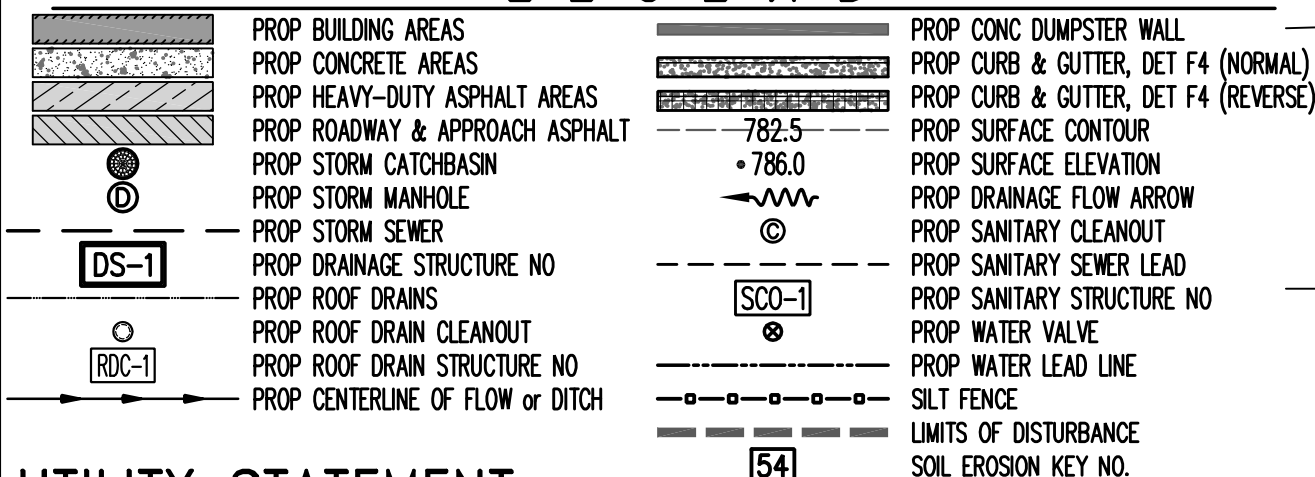
ANY WORK REQUIRED WITHIN THE CITY ROAD RIGHT-OF-WAY ON INDUSTRIAL DRIVE AND SOUTH STREET WILL REQUIRE A RIGHT-OF-WAY WORK PERMIT. THE CONTRACTOR MUST MUST CONTACT RANDY CHESNEY AT THE CITY OF OWOSSO ENGINEERING DEPARTMENT (989.725.0550) AND SECURE THE REQUIRED PERMIT AND BOND PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMIT, INCLUDING THE PROPER CONSTRUCTION TRAFFIC SIGNAGE.



NOTE:  
CONTRACTOR TO INSTALL & MAINTAIN ANTI-TRACKING PAD.  
WHEN AGGREGATE BECOMES SATURATED WITH FINES, CONTRACTOR TO SCARIFY AND RELAY AGGREGATE.  
ANTI-TRACKING PAD DOES NOT RELIEVE CONTRACTOR FROM SWEEPING AND CLEANING ADJACENT WALKS  
AND ROADS.  
THE MDOT 6A STONE OR BROKEN CONCRETE IS TO BE REMOVED AND LEGALLY DISPOSED OF OFF  
PROPERTY UPON PROJECT COMPLETION.

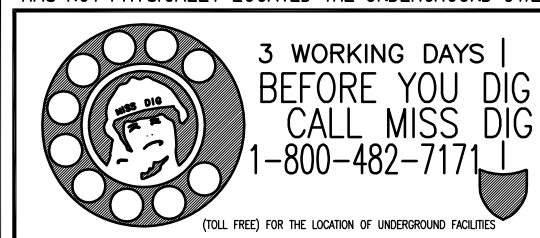
ANTI-TRACKING PAD

LEGEND



## UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NO WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



Know what's below.  
**Call** before you dig.

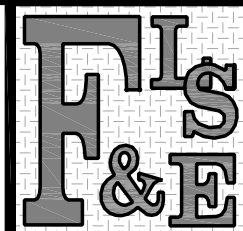
SCALE: 1"=20'

---

JOB NO. 21-179

**OWNER/DEVELOPER:**  
**PETER DAWIDOWIC**  
OWOSSO, MI 48867  
PHONE: 248.388.8771  
EMAIL: PETER234@YAHOO.COM





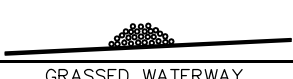
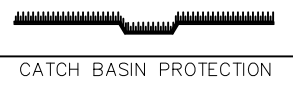

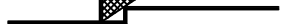
PART OF THE NORTHEAST 1/4,  
OF SECTION 30, T7N-R3E  
OWOSSO, SHIAWASSEE CO, MI



**Fenton Land Surveying & Engineering, Inc**  
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430  
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

SOIL EROSION & SEDIMENTATION CONTROL PLAN FOR:  
MARIHUANA GROW FACILITY  
V/L McMILLAN AVENUE, OWOSSO, MI 48867

|            |           |        |            |                             |
|------------|-----------|--------|------------|-----------------------------|
| REVISIONS  | DRN. BY:  | J.R.B. | 06.29.2021 | SHEET NO:<br><br><b>C-4</b> |
| 07.05.2021 | DSN BY:   | J.R.B. | "          |                             |
|            | CHK'D BY: | J.P.W. | "          |                             |
|            | APPR BY:  | J.B.M. | "          |                             |

| SOIL EROSION CONTROL KEYING SYSTEM |   |   |
|------------------------------------|---|---|
| KEY                                | DETAIL  | CHARACTERISTICS   |
| 1                                  |  | TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS A DIVERSION<br>STOCKPILE SHOULD BE TEMPORARILY SEEDED  |
| 6                                  |  | FACILITATES ESTABLISHMENT OF VEGETATIVE COVER<br>EFFECTIVE FOR SMALL QUANTITIES BY INEXPERIENCED PERSONNEL<br>SHOULD INCLUDE PREPARED TOPSOIL (SOD)                                     |
| 13                                 |  | USED WHERE VEGETATION IS NOT EASILY ESTABLISHED<br>EFFECTIVE FOR HIGH VELOCITIES OR HIGH CONCENTRATIONS<br>PERMITS RUNOFF TO INFILTRATE SOIL<br>DISIPATES ENERGY FLOW AT SYSTEM OUTLETS |
| 14                                 |  | STABILIZES SOIL SURFACE, THIS MINIMIZING EROSION<br>PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER<br>MAY BE USED AS A PERMANENT BASE CONSTRUCTION OF PAVED AREAS                      |
| 21                                 |  | CONSTRUCTED OF GRAVEL OR STONE<br>INTERCEPTS AND DIVERTS RUNOFF TO STABILIZED AREAS OR PREPARED DRAINAGE SYSTEMS<br>SLOWS RUNOFF AND COLLECTS SEDIMENT                                  |
| 24                                 |  | MUCH MORE STABLE FORM OF DRAINAGEWAY THAN BARE CHANNEL<br>GRASS TENDS TO SLOW RUNOFF AND FILTER OUT SEDIMENT<br>USED WHERE BARE CHANNELS WOULD BE ERODED                                |
| 36                                 |  | COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF<br>PLACE FILTER BAG UNDER INLET  |
| 54                                 |  | USES GEOTEXTILE FABRIC AND POSTS OR POLES<br>EASY TO CONSTRUCT AND LOCATE AS NECESSARY  |

**SOIL EROSION AND SEDIMENTATION CONTROL (SESC) NOTES:**

1. SOIL EROSION: THE CONTRACTOR SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 1 SOIL EROSION AND SEDIMENTATION CONTROL. THIS INCLUDES THE PAYMENT OF FEES AND THE FURNISHING OF NECESSARY BONDS, NO EARTHWORK OR GRADING SHALL BE PERMITTED PRIOR TO THE SUBMITTAL OF THE PLAN. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE PROJECT DURING THIS PERIOD OF CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE, ANY SILT IN COUNTRY DRAINS, STORM SEWERS, CULVERTS, ETC. AS A RESULT OF THIS PROJECT, SHALL BE REMOVED BY THE CONTRACTOR AT THE COST OF THE CONTRACTOR.

2. ALL SOIL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF THE SHIAWASSEE COUNTY SESC (SOIL EROSION CONTROL). THE CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT OR WAIVER FROM SCCD-SESC PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS.

3. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.

4. CONTRACTOR SHALL PLACE AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY THE SCD-C-SESC, AND AS SHOWN ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS ALL PERMANENT EROSION CONTROL MEASURES ARE COMPLETED.

5. EROSION AND ANY SEDIMENT CREATED FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN ANY DRAINAGE FACILITIES. DRAINAGE FACILITIES INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.

6. ALL MUD, DIRT, AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. ALL MUD, DIRT, AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

7. CONTRACTOR MUST IMPLEMENT APPROPRIATE MEASURES AS REQUIRED TO CONTROL DUST AT ALL TIMES, AS APPROVED BY THE SDC-NWS.

8. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.

9. FAILURE TO COMPLY WITH ALL APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS MAY RESULT IN WORK STOPPAGE BY THE SDC-SESC.

10. CONTRACTOR MUST IMMEDIATELY HAUL AWAY ALL EXCAVATED DIRT TO AN APPROVED OFF SITE LOCATION, OR TEMPORARILY STORE THE MATERIAL ON THE SITE. ALL STORED MATERIAL MUST BE PROTECTED TO PREVENT EROSION.

11. THE CONTRACTOR MUST PROVIDE A WRITTEN SCHEDULE INDICATING THE TIMING AND SEQUENCING OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND CONSTRUCTION ITEMS, INCLUDING THE INSTALLATION OF ALL PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

12. APPROXIMATELY 1.0 ACRES WILL BE DISTURBED IN CONSTRUCTION OF THIS PROJECT, THEREFORE A NPDES STORM WATER DISCHARGE PERMIT WILL NOT BE REQUIRED.

— ADDITIONAL SOIL EROSION CONTROL NOTES:

1. THIS SITE IS IN THE DRAINAGE DISTRICT OF THE SHIAWASSEE RIVER. THE SHIAWASSEE RIVER (A COUNTY DRAIN) IS LOCATED APPROXIMATELY 3,800 FEET NORTHERLY OF THE SITE, AND IS THE CLOSEST OPEN DRAIN OR WATER BODY TO THE SITE.

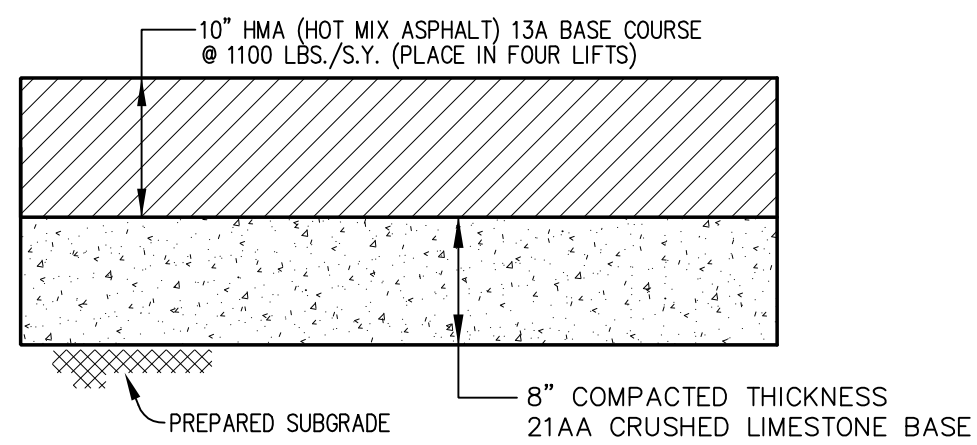
**SESC CONSTRUCTION SEQUENCE:**

1. PLACE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AS PER THESE PLANS.
2. RUGH GRADE SITE, CONSTRUCT DETENTION BASIN, INSTALL PROPOSED STORM SEWER OUTLET AND SANITARY SEWER LEAD, AND THE WATER LEAD, BEGIN BUILDING CONSTRUCTION.
3. FINAL GRADE ALL DISTURBED AREAS TO THE ELEVATIONS AND GRADES AS SHOWN ON THESE PLANS.
4. PLACE 4" TOPSOIL, FERTILIZER, SEED, AND MULCH TO RESTORE ALL DISTURBED TURF AREAS.
5. REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AFTER ALL SITE CONSTRUCTION HAS BEEN COMPLETED, AND ALL NEW TURF AREAS HAVE BEEN FULLY ESTABLISHED.
6. CONTRACTOR SHALL KEEP STREET AND ALL OTHER PAVEMENT CLEAN AT ALL TIMES, AND PREVENT DUST POLLUTION.

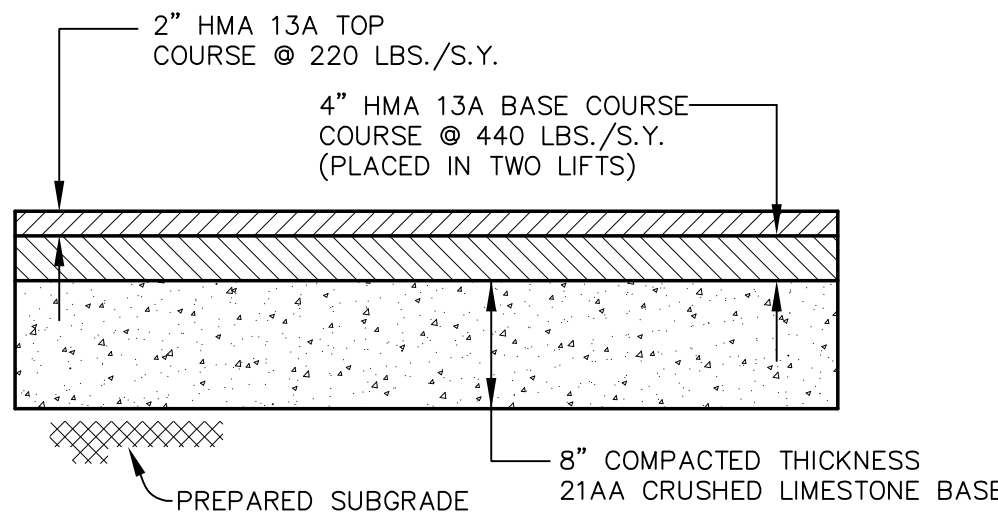
← SESC MAINTENANCE NOTES:

1. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING ANY PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AS REQUIRED SUCH THAT THE MEASURES ARE EFFECTIVE AND IN PROPER WORKING ORDER AT ALL TIMES.
4. ALL MUD/DIRT TRACKED ONTO ROADS OR THE PARKING LOT FROM THE SITE DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
5. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, BOTH PERMANENT AND TEMPORARY, SHALL BE THE RESPONSIBILITY OF THE HOME OWNER AND/OR CONTRACTOR.

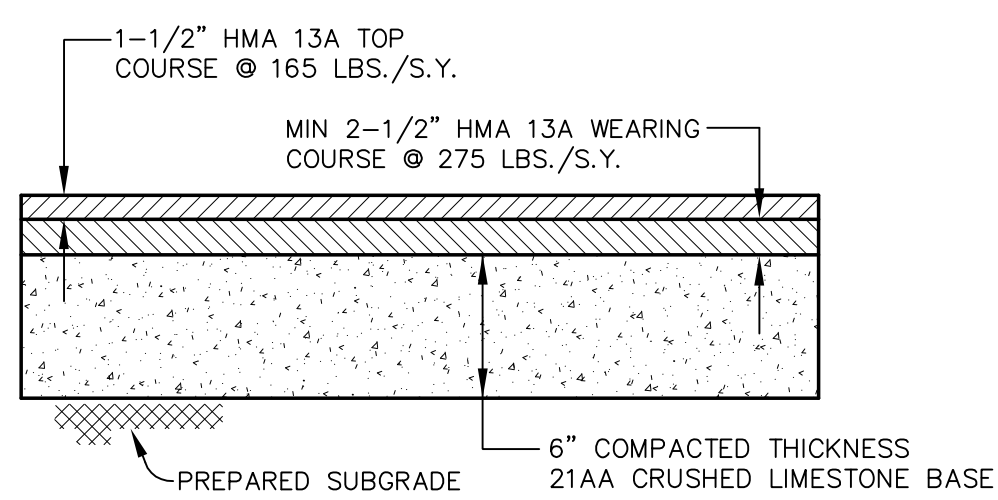




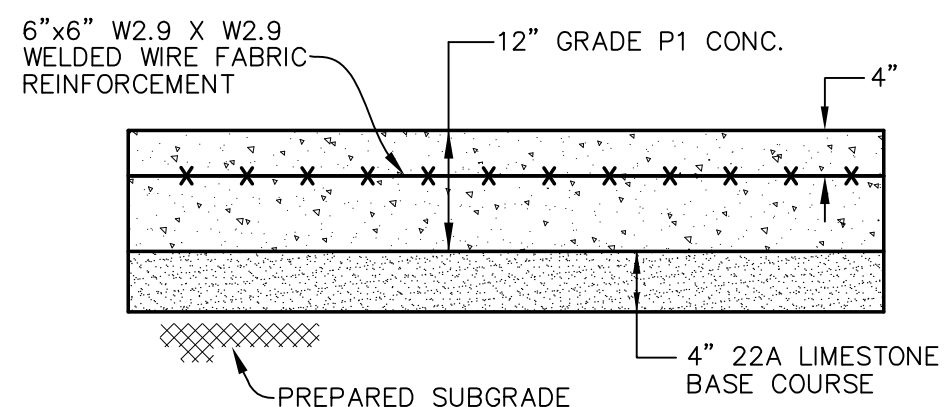
ASPHALT COMMERCIAL DRIVEWAY APPROACH X-SECTION



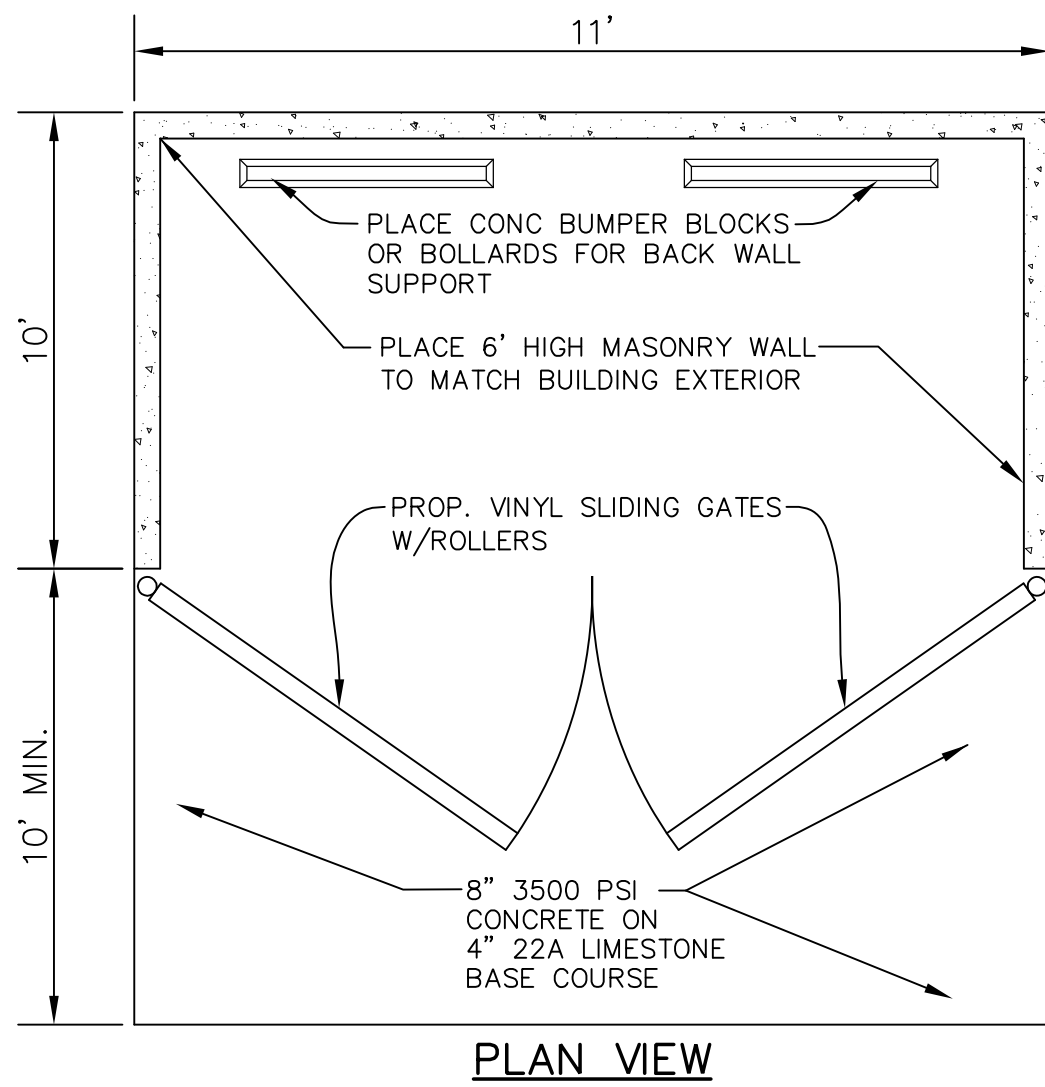
HEAVY DUTY PARKING LOT PAVEMENT X-SECTION (ROADWAY PAVEMENT PATH WITHIN CITY RIGHT-OF-WAY)



STANDARD ASPHALT PARKING LOT PAVEMENT X-SECTION

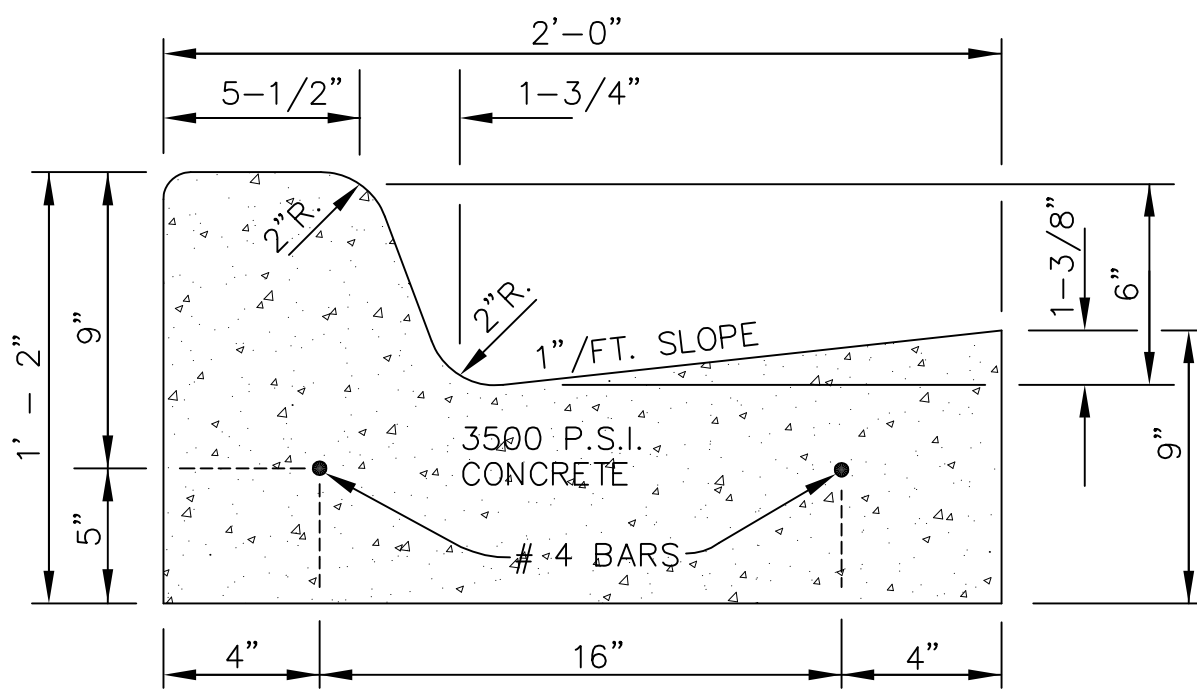


CONCRETE PAVEMENT X-SECTION AT DUMPSTER PAD

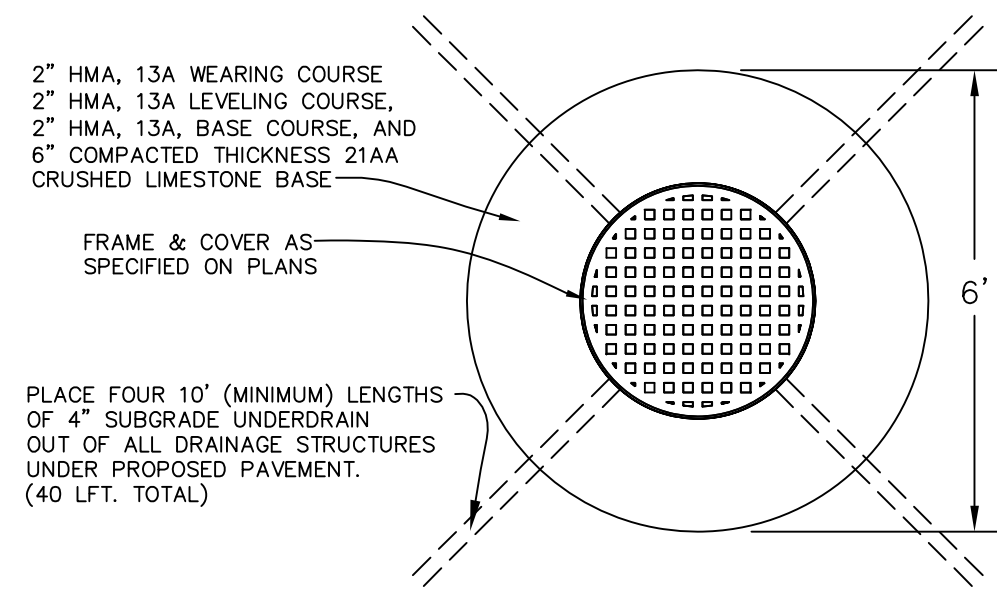


PLAN VIEW

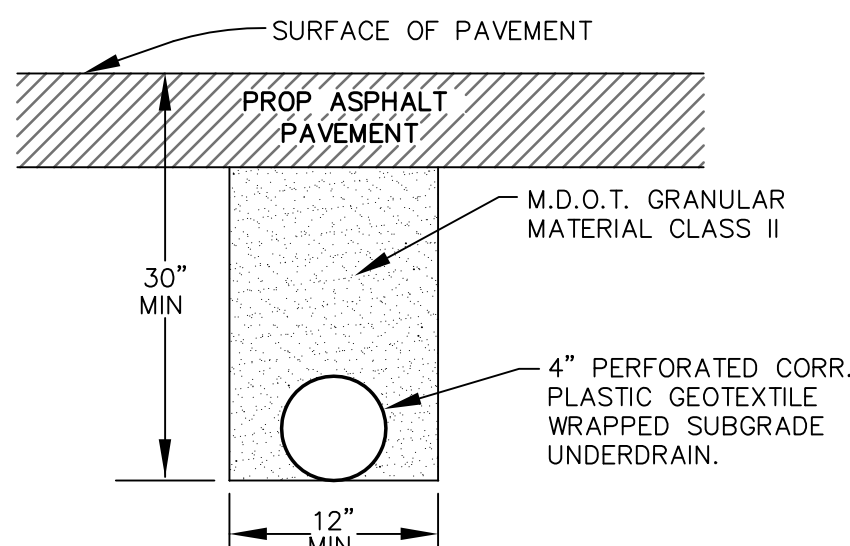
DUMPSTER ENCLOSURE DETAIL (IF REQUIRED)



CONCRETE CURB & GUTTER DETAIL F-4

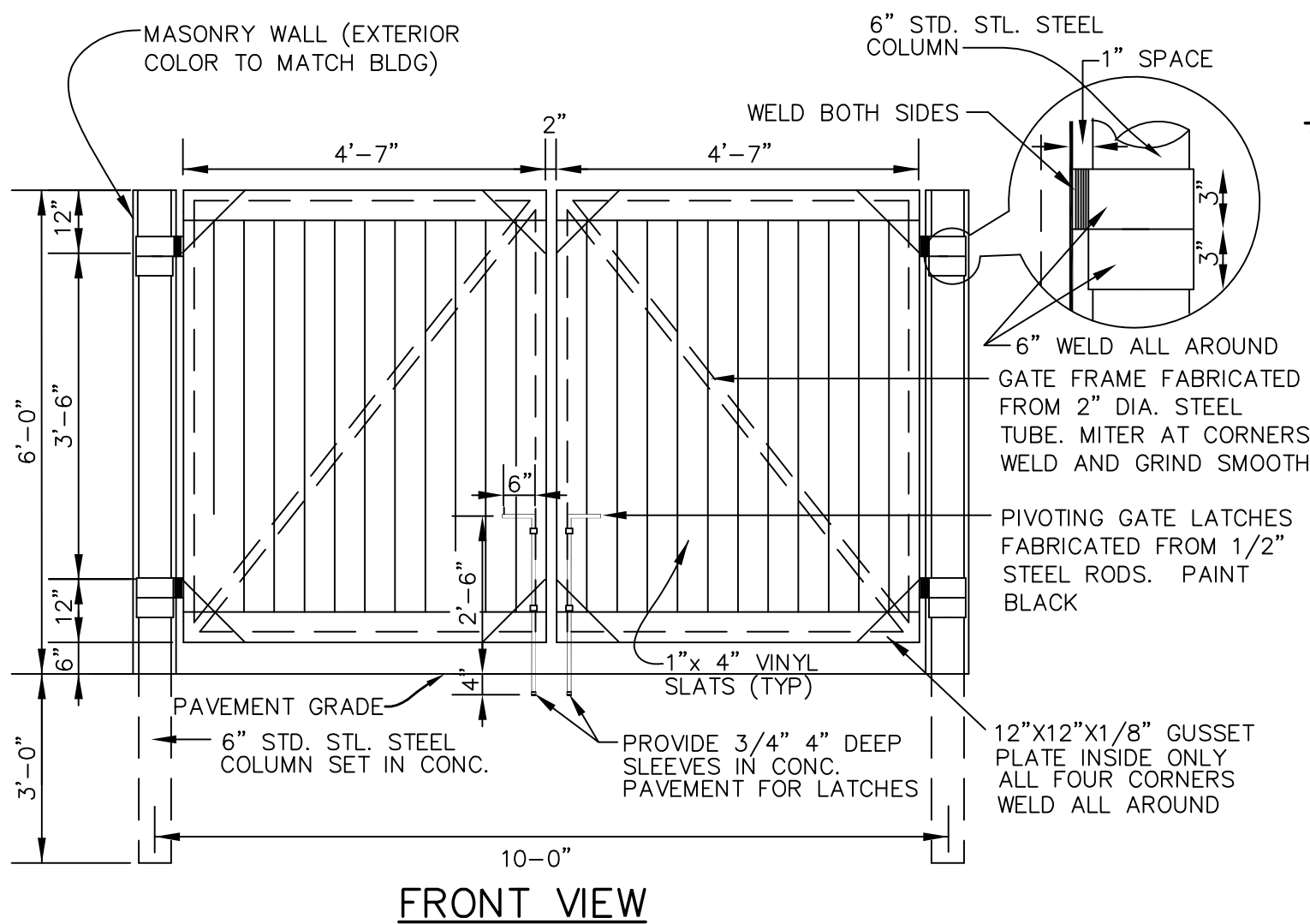


PLAN VIEW OF UNDERDRAIN AT CATCHBASIN M2

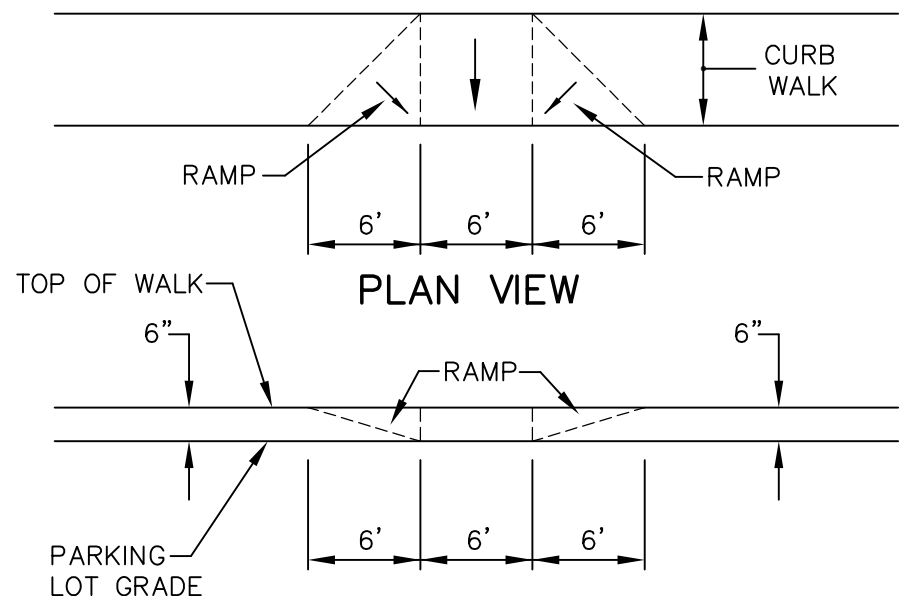


PARKING LOT UNDERDRAIN X-SECTION

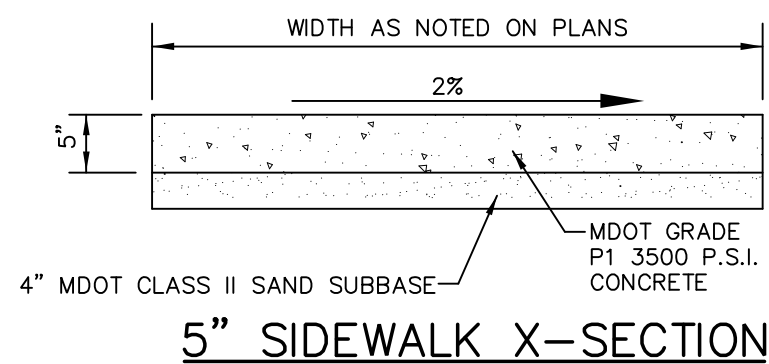
PARKING LOT UNDERDRAIN DETAILS



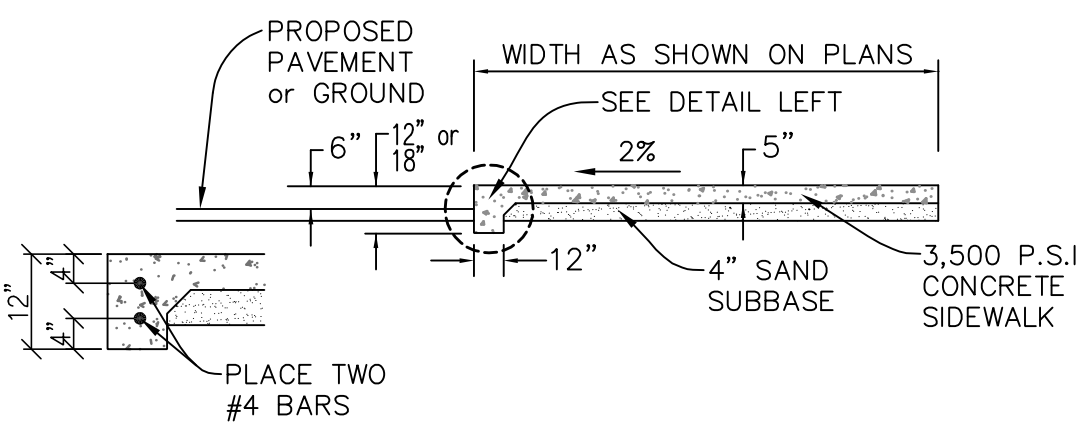
FRONT VIEW



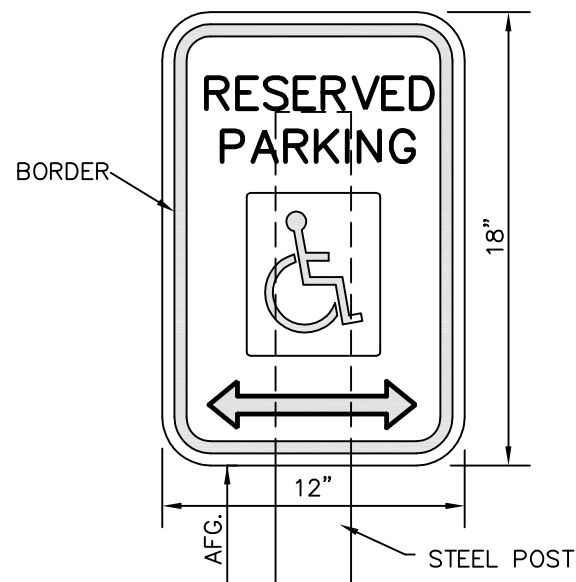
CROSS SECTION VIEW SIDEWALK BARRIER FREE RAMP DETAIL



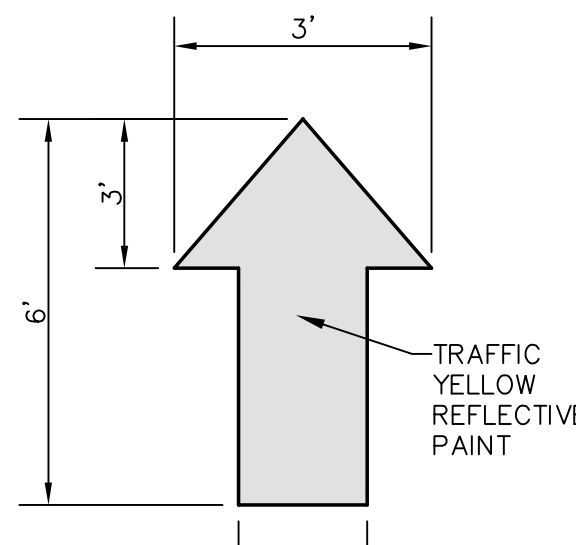
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PROPOSED THICKENED EDGE SIDEWALK X-SECTION



A.D.A. PARKING SIGN TYPICAL @ ALL BARRIER FREE STALLS



TRAFFIC FLOW ARROW DETAIL (NO SCALE)

## GENERAL CONSTRUCTION NOTES:

1. ALL SITE CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS THE 2012 MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE LATEST MDOT STANDARD ROAD PLANS, AND THE LATEST CITY OF OWOSSO ZONING ORDINANCE AND ENGINEERING DESIGN STANDARDS. COPIES OF ALL MDOT DOCUMENTS MAY BE OBTAINED FROM THEIR WEBSITE (WWW.MICHIGAN.GOV/MDOT).
2. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO GRADE THE SITE TO THE GRADES SHOWN ON THE PLANS OR SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION, EMBANKMENT, AND THE FURNISHING AND PLACING OF ALL BORROW MATERIAL REQUIRED TO OBTAIN THE SPECIFIED GRADES.
3. SUBGRADE PREPARATION: REMOVE ALL ROCKS, DEBRIS, VEGETATION AND TOPSOIL FROM THE AREA TO BE PAVED. SHAPE THE SUBGRADE TO PROPER ELEVATIONS FOR PLACEMENT OF THE PAVEMENT. COMPACT SUBGRADE TO NOT LESS THAN 95% OF MAXIMUM UNIT WEIGHT IN 9 INCH LIFTS IN ACCORDANCE WITH THE MODIFIED PROCTOR T-180 METHOD. THE CONTRACTOR SHALL UNDERCUT ANY UNSUITABLE SUBGRADE MATERIAL AND REPLACE IT WITH SUITABLE MATERIAL COMPACTED TO MINIMUM 95% OF MAX UNIT WEIGHT.
4. ALL WORK NECESSARY TO COMPLETE THIS PROJECT SHALL CONFORM TO ALL RELATED CITY OF OWOSSO & SDCD CODES AND ORDINANCES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSURANCE AND BONDS PRIOR TO CONSTRUCTION, INCLUDING THE PAYMENT OF ANY FEES, REQUIRED BY ANY FEDERAL, STATE, LOCAL, OR PRIVATE ORGANIZATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF SURPLUS OR WASTE MATERIAL.
7. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE EMPLOYED IN ACCORDANCE WITH THE SOIL EROSION CONTROL PLAN, AND SHALL MEET THE APPROVAL OF THE SHIAWASSEE COUNTY DRAIN COMMISSIONER (SDC) EROSION CONTROL DEPARTMENT. CONTRACTOR SHALL OBTAIN SOIL EROSION CONTROL PERMIT FROM THE SDC SOIL EROSION CONTROL DEPARTMENT (SESC).
8. ALL LAWN OR TURF AREAS SHALL BE ESTABLISHED WITH TOPSOIL AND APPLICATION OF FERTILIZER, SEED AND MULCH IN ACCORDANCE WITH THE FOLLOWING RATES:

TOPSOIL SURFACE = MINIMUM 4 INCHES  
CHEMICAL FERTILIZER NUTRIENT = 240 LBS/ACRE  
CLASS A SEEDING = 120 LBS/ACRE  
MULCH = 2 TONS/ACRE  
ALL LANDSCAPE BEDS SHALL HAVE 18" OF TOPSOIL.

ALL MATERIAL SHALL COMPLY WITH MDOT STANDARD SPECIFICATIONS.

9. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES PRIOR TO PERFORMING WORK, AND SHALL OBTAIN ANY REQUIRED PERMITS OR APPROVALS PRIOR TO PERFORMING WORK.

10. THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISS DIG UTILITY PROTECTION SERVICE (1-800-482-7171) TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH THE UTILITY OWNERS REQUIREMENTS AT THE CONTRACTORS EXPENSE.

11. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO EXPOSE ALL EXISTING UTILITIES THAT CROSS THE PROPOSED CONSTRUCTION IN ORDER TO DETERMINE IF A VERTICAL CONFLICT EXISTS BETWEEN THE EXISTING UTILITY AND THE PROPOSED CONSTRUCTION. ALL LABOR REQUIRED TO UNCOVER THE EXISTING UTILITY SHALL BE INCLUDED IN THE COST OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATIONS OF ALL UTILITIES IN SUFFICIENT TIME SUCH THAT ANY CONFLICTS CAN BE RESOLVED BEFORE WORK IS STARTED IN THAT PORTION OF THE PROJECT. THE CONTRACTOR SHALL ARRANGE FOR THE VARIOUS UTILITY OWNERS TO LOCATE, REMOVE AND REPLACE, OR RELOCATE THEIR FACILITIES. ALL COST FOR THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

12. PRIOR TO BIDDING THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE A PERSONAL INVESTIGATION OF THE SITE AND EXISTING SURFACE AND SUBSURFACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ACQUAINT THEMSELVES WITH CONDITIONS OF THE WORK AREA. THE CONTRACTOR IS ADVISED TO DETERMINE THE SUBSURFACE SOIL AND GROUND WATER CONDITIONS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, WILL BE INCIDENTAL TO THE COST OF CONSTRUCTION.

13. ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF THE PROPOSED WORK. BEFORE COMMENCING PAVING WORK, THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACES NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE HELD TO BE AN ACCEPTANCE OF THE SURFACES AND WORKING CONDITIONS BY THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS. ANY UNSTABLE LIMESTONE BASE OR ASPHALT PAVEMENT MUST BE REMOVED AND REPLACED BY THE CONTRACTOR AT THEIR COST AS REQUIRED BY THE OWNER AND/OR ENGINEER.

14. CONTRACTOR SHALL REMOVE ALL EXISTING STRUCTURES, TREES, BRUSH, FENCES, SLABS, DRIVEWAYS AND/OR SIDEWALKS THAT ARE AFFECTED BY THE PROPOSED WORK. VISIT SITE TO DETERMINE EXTENT OF REMOVAL WORK WHICH MAY OR MAY NOT BE SHOWN ON PLANS.

15. THE FOLLOWING LATEST MDOT STANDARD ROAD PLANS SHALL APPLY TO THIS PROJECT UNLESS THEY ARE SUPERSEDED BY CITY OF OWOSSO & SDCD STANDARD DETAILS:

| PLAN NO. | TITLE  |
|----------|--|
| R-1-G    | DRAINAGE STRUCTURES  |
| R-7-F    | COVER B  |
| R-12-E   | COVER G  |
| R-29-I   | DRIVEWAY OPENINGS & APPROACHES AND CONCRETE SIDEWALKS                              |
| R-30-G   | CONCRETE CURB AND CONCRETE CURB & GUTTER   |
| R-80-E   | GRANULAR BLANKET, UNDERDRAINS, OUTLET ENDINGS FOR UNDERDRAINS, AND SEWER BULKHEADS |
| R-82-D   | BEDDING AND FILLING AROUND PIPE CULVERTS   |
| R-83-C   | UTILITY TRENCHES   |

THE CONTRACTOR SHALL OBTAIN COPIES OF THESE MDOT STANDARD PLANS AT THE MDOT WEBSITE (WWW.MICHIGAN.GOV/MDOT) AND MUST COMPLY WITH ALL REQUIREMENTS

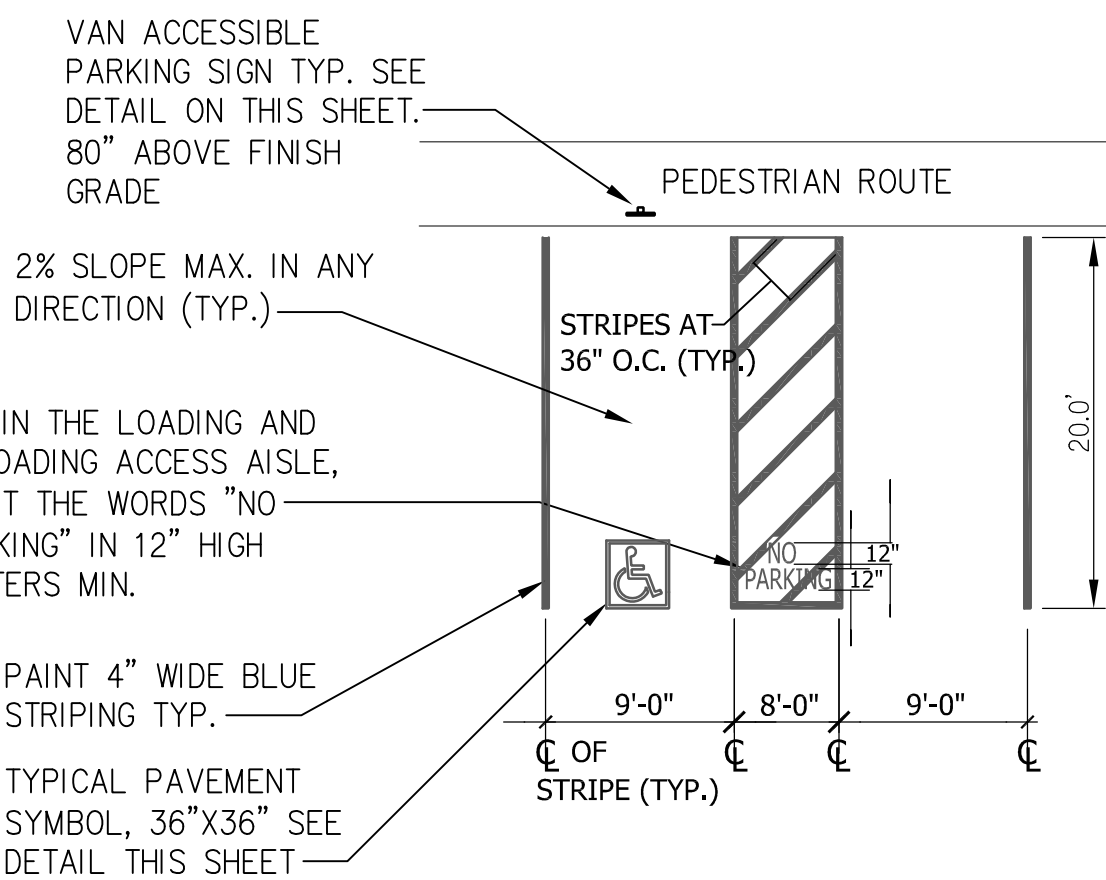
16. THE CONTRACTOR MUST PROVIDE ALL MEASURES REQUIRED FOR TRAFFIC CONTROL DURING CONSTRUCTION AS REQUIRED BY CITY OF OWOSSO & SDCD AND IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE 2011 EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS AMENDED, AND SECTION 812 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CONTRACTOR MUST PLACE PLASTIC DRUMS, TEMPORARY SIGNING, LIGHTED ARROWS, YELLOW CONSTRUCTION WARNING TAPE, AND ANY OTHER MEASURES REQUIRED TO PROTECT THE PUBLIC DURING CONSTRUCTION.

17. ALL PARKING SPACE LINES, CROSSWALKS, STOP BARS, & PAINTED ISLANDS SHALL BE MARKED WITH 4" WHITE REFLECTIVE PAINT. ALL HANDICAP PARKING SPACE LINES SHALL BE MARKED WITH 4" BLUE REFLECTIVE PAINT. HANDICAP SYMBOLS SHALL BE BLUE REFLECTIVE PAINT. ALL MATERIALS SHALL COMPLY WITH SECTION 811 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

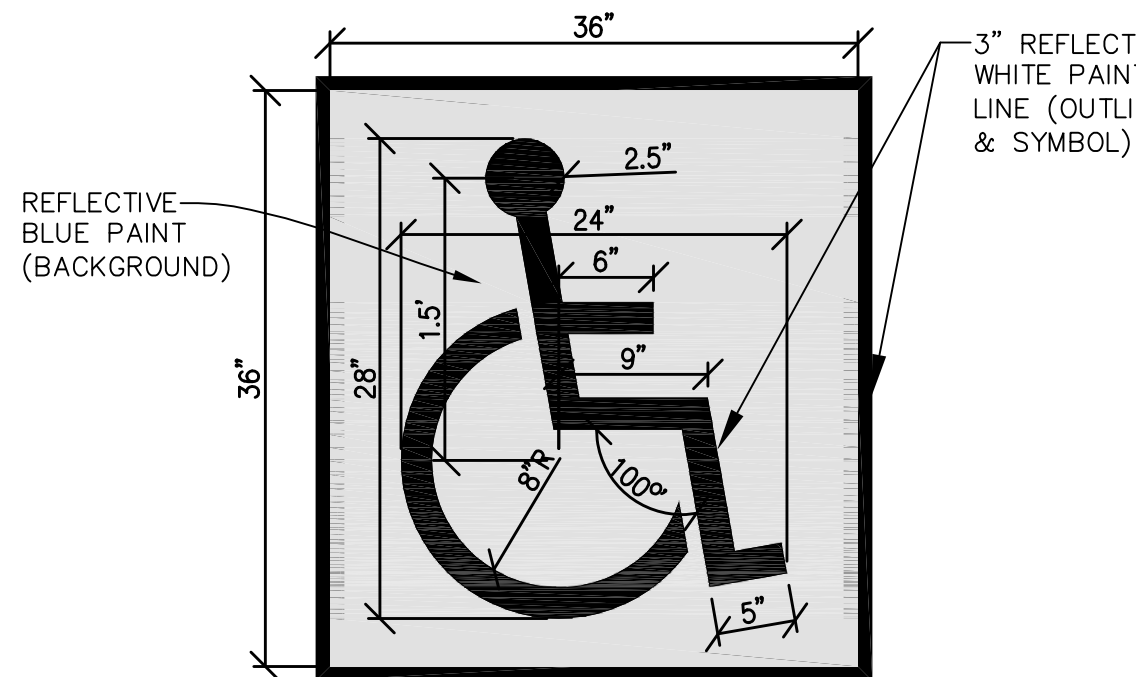
18. ALL TRAFFIC SIGNS SHALL CONFORM WITH THE REQUIREMENTS OF THE 2011 EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED, AND SECTION 810 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

19. THE CONTRACTOR SHALL CONTROL NOISE, CARRY OUT A PROGRAM OF DUST CONTROL AND SHALL ALLOW NO ON-SITE BURNING, WITHOUT APPROVAL FROM LOCAL FIRE DEPARTMENT.

20. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVEMENT. THE CONTRACTOR MUST PROPERLY REPAIR ANY DAMAGE CAUSED BY THEIR OPERATIONS AT THEIR COST AS REQUIRED BY THE OWNER AND/OR ENGINEER.



A.D.A. PARKING & REGULAR SPACE PAVEMENT MARKING LAYOUT DETAIL



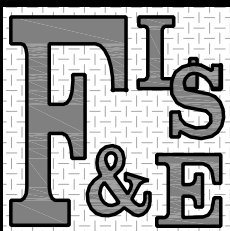
A.D.A. PARKING SYMBOL TYPICAL @ ALL BARRIER FREE STALLS

SCALE: 1"=20'

JOB NO. 21-179

OWNER/DEVELOPER:  
**PETER DAWIDOWIC**  
OWOSSO, MI 48867  
PHONE: 248.388.8771  
EMAIL: PETER234@YAHOO.COM

PART OF THE NORTHEAST 1/4,  
OF SECTION 30, T7N-R3E  
OWOSSO, SHIAWASSEE CO, MI



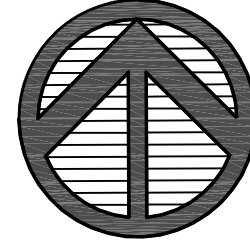
Fenton Land Surveying & Engineering, Inc  
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430  
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

STANDARD CONSTRUCTION DETAIL & NOTES FOR:  
**MARIHUANA GROW FACILITY**  
V/L McMILLAN AVENUE, OWOSSO, MI 48867

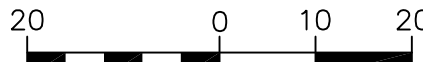
| REVISIONS | DRN. BY:  | J.R.B. | 06.29.2021 |
|-----------|-----------|--------|------------|
|           | DSN BY:   | J.R.B. | "          |
|           | CHK'D BY: | J.P.W. | "          |
|           | APPR BY:  | J.B.M. | "          |



NORTH



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

## LEGEND

- EX ROAD SIGNS
- EX UTILITY & LIGHT POLE
- EX OVERHEAD POWERLINES
- EX STREET LIGHT POLE
- EX PEDESTAL
- EX BUILDING LINE
- EX GAS LINE
- EX GAS/ELEC METER
- EX STORM SEWER
- EX STORM MANHOLE
- EX STORM CATCHBASINS
- EX SANITARY SEWER
- EX SANITARY MANHOLE
- EX SANITARY CLEANOUT
- EX WATERMAIN
- EX FIRE HYDRANT
- EX WATER MANHOLE
- EX GATEVALVE
- EX CHAIN LINK FENCE
- EX WOOD FENCE
- EX CONTOUR ELEVATION
- EX WOODS AREA
- EX TREE
- FOUND MONUMENTATION
- CONC
- ASPH
- B/B
- EX
- EX BUILDING AREA
- EX PAVEMENT AREAS
- PROP PARKING SPACE NO.
- PROP BARRIER FREE (ADA) PARKING
- PROP PAINTED TRAFFIC FLOW ARROW
- PROP LIGHT POLE
- PROP WALL PACK LIGHT
- PROP CONCRETE AREAS
- PROP BUILDING AREA
- PROP ASPHALT PAVEMENT
- PROP STORM CATCHBASIN
- PROP STORM SEWER
- PROP ROOF DRAINS
- PROP ROOF DRAIN CLEANOUT
- PROP SANITARY CLEANOUT
- PROP SANITARY SEWER LEAD
- PROP WATER SHUT-OFF VALVE
- PROP WATER LEAD LINE
- PROP ELEC TRANSFORMER & BURIED LINE
- PROP GAS METER & BURIED LINE

## LEGEND

- PROP BUSHES OR FLOWERS
- PROP CONIFEROUS or DECIDUOUS TREES
- AMOUNT OF TREES/SHRUBS
- TYPE OF TREE/SHRUB

## UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. IF AVAILABLE, THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



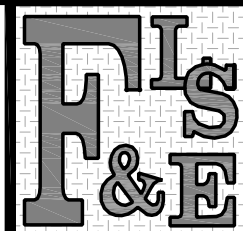
Know what's below.  
Call before you dig.

SCALE: 1"=20'

JOB NO. 21-179

OWNER/DEVELOPER:  
**PETER DAWIDOWIC**  
OWOSSO, MI 48867  
PHONE: 248.388.8771  
EMAIL: PETER234@YAHOO.COM

PART OF THE NORTHEAST 1/4,  
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OWOSSO, SHIAWASSEE CO, MI



Fenton Land Surveying & Engineering, Inc.  
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430  
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

SITE LANDSCAPING PLAN FOR:  
**MARIHUANA GROW FACILITY**  
V/L McMILLAN AVENUE, OWOSSO, MI 48867

| REVISIONS  | DRN. BY:  | J.R.B. | 06.28.2021 | SHEET NO: |
|------------|-----------|--------|------------|-----------|
| 07.05.2021 | DSN BY:   | J.R.B. | "          | C-6       |
|            | CHK'D BY: | J.P.W. | "          |           |
|            | APPR BY:  | J.B.M. | "          |           |

## SITE LANDSCAPING PLAN

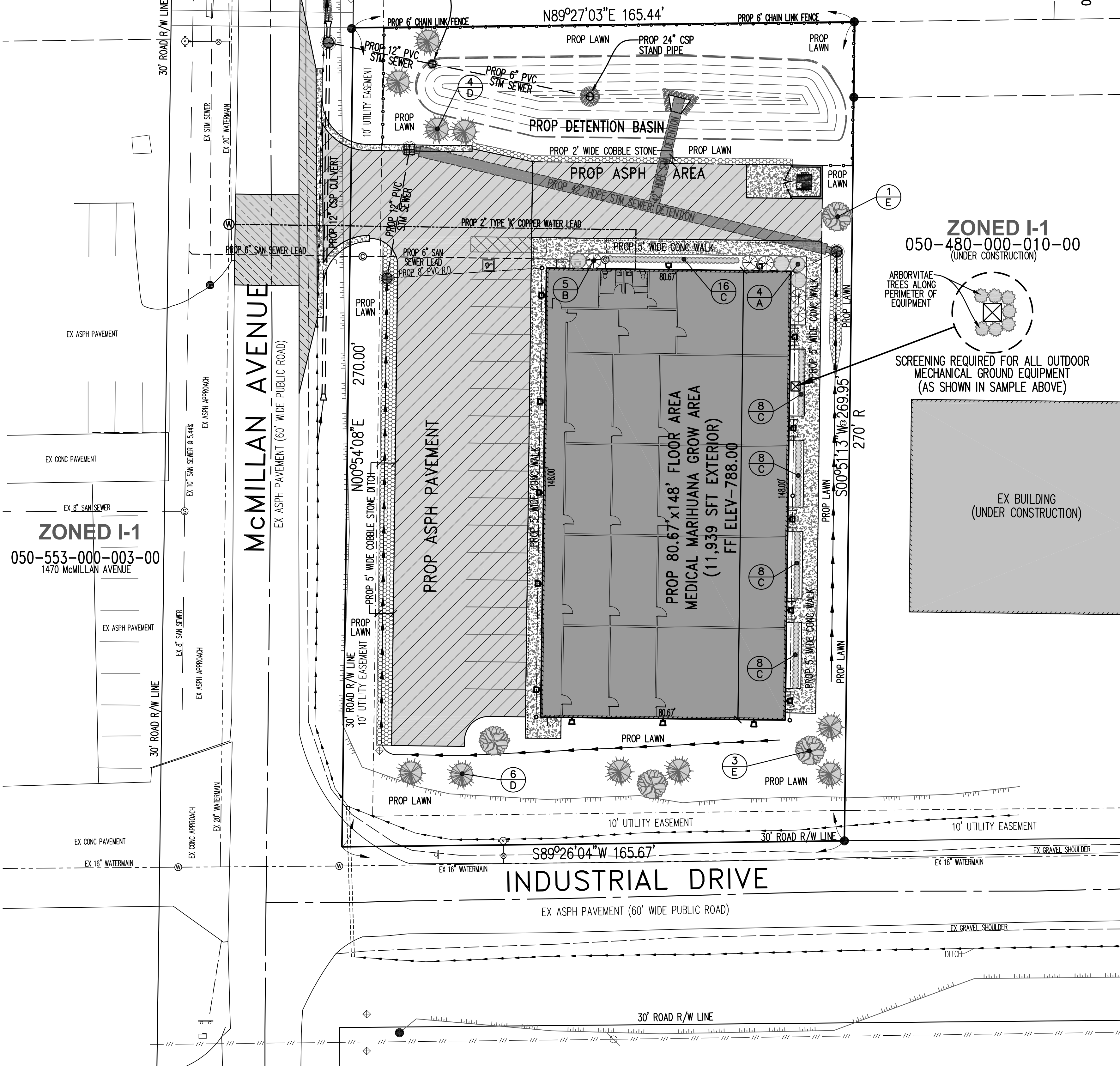
**ZONED I-1**  
050-553-000-001-00  
1370 E SOUTH STREET

"OWOSSO SOUTHEAST  
INDUSTRIAL PARK SUB'N"

**ZONED I-1**

050-480-000-002-00  
1400 McMILLAN AVE  
WOODS & BRUSH

**ZONED I-1**  
050-480-000-001-00  
1400 E SOUTH ST  
EX POLEBAR



## PLANT LIST

| QTY. | KEY | COMMON NAME            | BOTANICAL NAME              | SIZE    |
|------|-----|------------------------|-----------------------------|---------|
| 4    | A   | CRIMSON PYGMY BAYBERRY | ATROPURPUREA NANA           | 18"-24" |
| 5    | B   | DWARF BURNING BUSH     | EUONYMUS ALATUS 'COMPACTUS' | 18"-24" |
| 48   | C   | WINTERGREEN BOXWOOD    | BUXUS SINICA VAR            | 18"-24" |

## TREE LIST

| QTY. | KEY | COMMON NAME       | BOTANICAL NAME          | SIZE       |
|------|-----|-------------------|-------------------------|------------|
| 10   | D   | AUSTRIAN PINE     | PINUS NIGRA             | 5 FEET     |
| 4    | E   | AMERICAN SWEETGUM | LIQUIDAMBAR STYRACIFLUA | 2-1/2" CAL |
| *    | F   | ARBORVITAE        | THUJA OCCIDENTALS       | 4 FEET     |

\* NOTE: IF REQUIRED, ARBORVITAE WILL BE USED TO SCREEN OUTDOOR MECHANICAL GROUND EQUIPMENT

## LANDSCAPE NOTES:

- ALL CORNER LOT PLANT BEDS TO HAVE 4" OF WOOD MULCH BEDDING PLACED ON GEOTEXTILE WEED BLOCK FABRIC.
- ALL NEW LAWN TREES SHALL HAVE A 6" DIAMETER CIRCLE OF 4" WOOD MULCH BEDDING PLACED ON GEOTEXTILE WEED BLOCK FABRIC BOUNDED BY COMMERCIAL GRADE PLASTIC EDGING.
- ALL LAWN AREAS SHALL BE ESTABLISHED WITH 4" TOPSOIL SURFACE, FERTILIZER, SEED AND MULCH.
- NO ON-SITE IRRIGATION IS PROPOSED FOR THIS PROJECT.
- ALL UTILITY STRUCTURES AND TRANSFORMERS MUST BE SCREENED WITH LANDSCAPING.
- NO IRRIGATION SYSTEMS WILL BE PERMITTED WITHIN THE CITY ROAD RIGHT-OF-WAY.



AUSTRIAN PINE



AMERICAN SWEETGUM



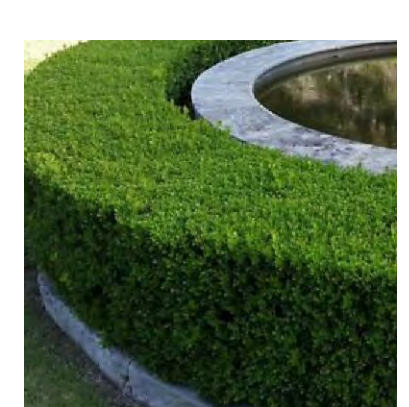
EMERALD ARBORVITAE



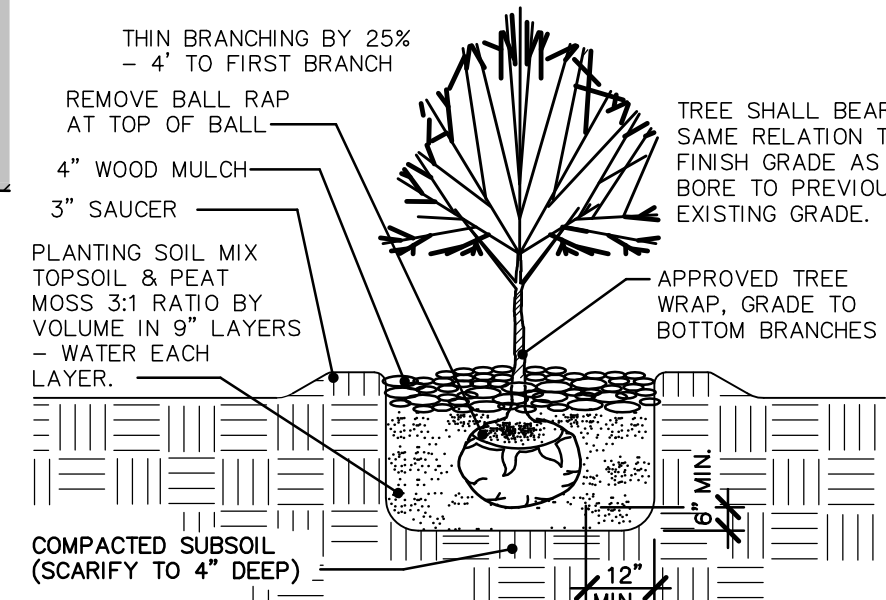
CRIMSON PYGMY BAYBERRY



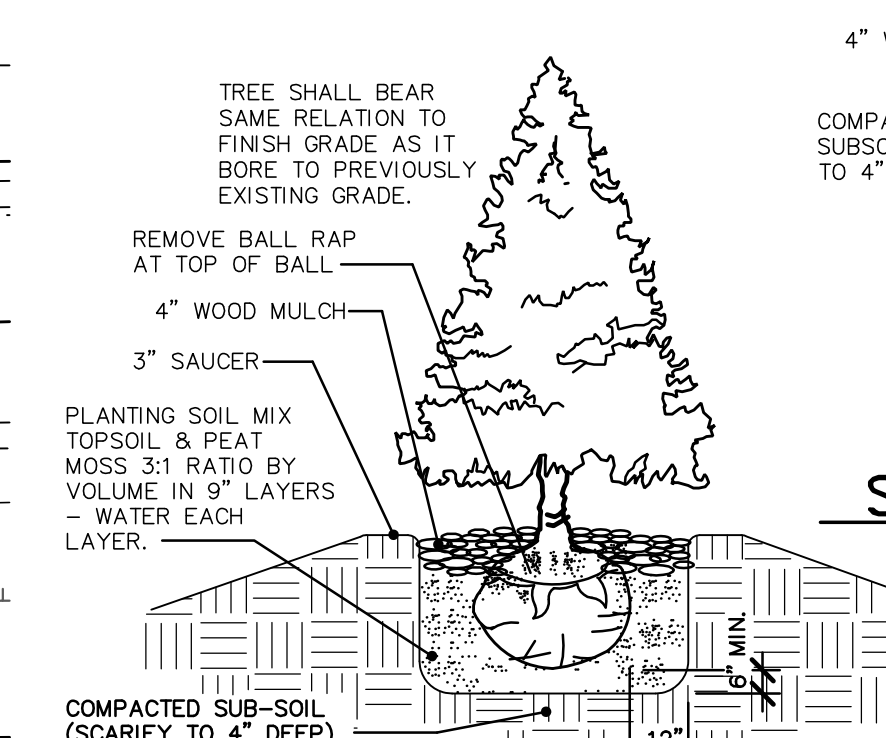
DWARF BURNING BUSH



WINTERGREEN BOXWOOD



## TREE PLANTING DETAIL



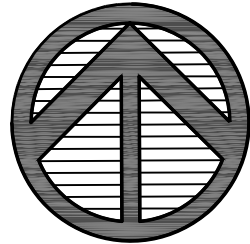
## SHRUB PLANTING DETAIL

## EVERGREEN PLANTING DETAIL

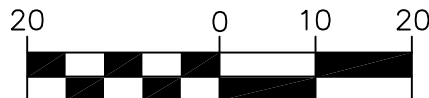


ELSE JOBS/21-179/OWOSSO/WEST PART LOT 2 - McMILLAN AVE - LIGHTING - C-7

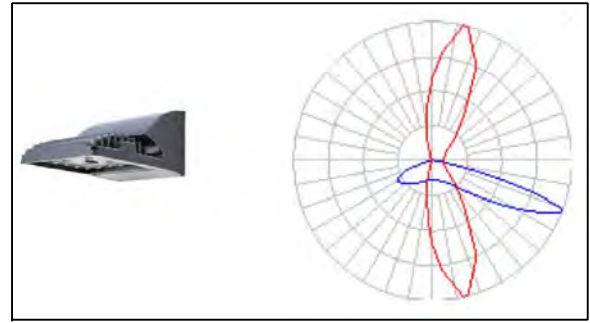
NORTH



GRAPHIC SCALE



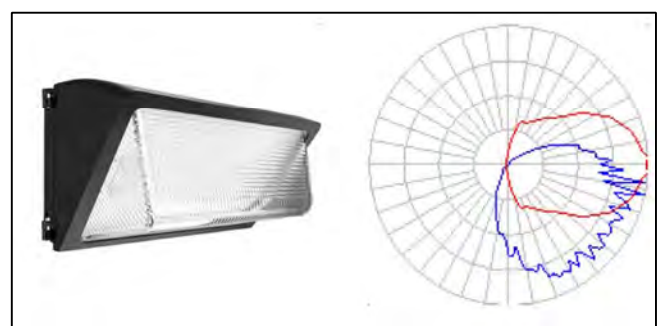
( IN FEET )  
1 inch = 20 ft.



LXT-WM2-PLD-II-40LED  
LIGHT FIXTURE ON BUILDING  
TYPE A - 10' FROM FINISH GRADE



WP2LED-34L-740H  
LIGHT FIXTURE ON BUILDING  
TYPE B - 12' FROM FINISH GRADE



WP3LED-93L-740U  
LIGHT FIXTURE ON BUILDING  
TYPE C - 12' FROM FINISH GRADE

#### UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



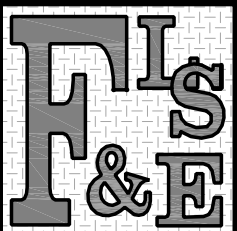
Know what's below.  
Call before you dig.

SCALE: 1"=20'

JOB NO. 21-179

OWNER/DEVELOPER:  
**PETER DAWIDOWIC**  
OWOSSO, MI 48867  
PHONE: 248.388.8771  
EMAIL: PETER234@YAHOO.COM

PART OF THE NORTHEAST 1/4,  
OF SECTION 30, T7N-R3E  
OWOSSO, SHIAWASSEE CO, MI



**Fenton Land Surveying & Engineering, Inc**  
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430  
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

SITE LIGHTING PLAN FOR:  
**MARIHUANA GROW FACILITY**  
V/L McMILLAN AVENUE, OWOSSO, MI 48867

| REVISIONS | DRN. BY:                             | J.R.B. | 06.28.2021 |
|-----------|--------------------------------------|--------|------------|
|           | DSN BY: <td>J.R.B.</td> <td>"</td>   | J.R.B. | "          |
|           | CHK'D BY: <td>J.P.W.</td> <td>"</td> | J.P.W. | "          |
|           | APPR BY: <td>J.B.M.</td> <td>"</td>  | J.B.M. | "          |

## SITE LIGHTING PLAN

**ZONED I-1**  
050-553-000-001-00  
1370 E SOUTH STREET

**ZONED I-1**  
050-553-000-003-00  
1470 McMILLAN AVENUE

**ZONED I-1**

050-480-000-002-00  
1400 McMILLAN AVE

**ZONED I-1**

050-480-000-001-00

## LOCATION MAP

## LEGEND

- PROP 10' HIGH WALL PACK LIGHT (TYPE A)
- PROP 12' HIGH WALL PACK LIGHT (TYPE B)
- PROP 12' HIGH WALL PACK LIGHT (TYPE C)
- PROP Fc (FOOTCANDLE) GRID POINT
- PROP LIGHT FIXTURE TYPE

## Luminaire Schedule

| Symbol | Qty | Label | Arrangement | Description                             | LLF   | Arr Lum Lumens | Arr Watts |
|--------|-----|-------|-------------|---|-------|----------------|-----------|
|        | 5   | A     | SINGLE      | LXT-WM2-PLD-II-40LED-350mA - 10' A.F.G. | 1.000 | 6281           | 42.7      |
|        | 3   | B     | SINGLE      | WP2LED-34L-740H - 12' A.F.G.            | 1.000 | 3434           | 23.7      |
|        | 8   | C     | SINGLE      | WP3LED-93L-740U - 12' A.F.G.            | 1.000 | 9107           | 62.6      |

## Calculation Summary

| Label                               | CalcType    | Units | Avg  | Max  | Min | Avg/Min | Max/Min |
|-------------------------------------|-------------|-------|------|------|-----|---------|---------|
| OVERALL SITE: POINTS AT GRADE 5'x5' | Illuminance | Fc    | 0.98 | 16.1 | 0.0 | N.A.    | N.A.    |

## SITE LIGHTING NOTES:

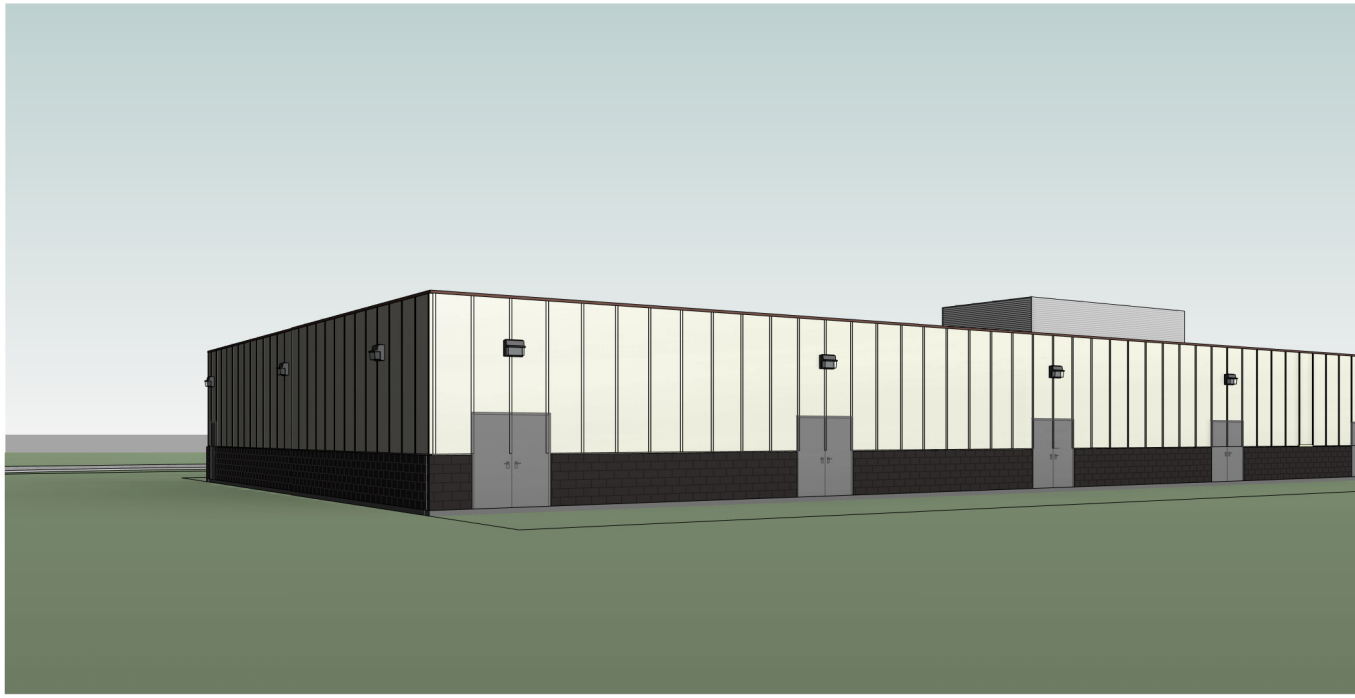
- ALL OUTDOOR LIGHTING IN ALL USE DISTRICTS OTHER THAN RESIDENTIAL DISTRICTS SHALL BE SHIELDED SO THE SURFACE OF THE SOURCE OF THE LIGHT SHALL NOT BE VISIBLE FROM ALL ADJACENT RESIDENTIAL DISTRICTS, ADJACENT RESIDENCES AND PUBLIC RIGHTS-OF-WAY.
- LIGHT FIXTURES WERE DESIGNED AND SHIELDED SO THAT LIGHT IS DIRECTED ONTO THE PARKING AREA AND DIRECTED AWAY FROM ADJACENT PROPERTY AND TRAFFIC.
- THE DESIGN AND STYLE OF FIXTURES (COLOR, SHAPE, STYLE, AND MATERIALS) SHALL MATCH OR COMPLEMENT THE STYLE AND MATERIALS OF THE BUILDINGS SERVED.
- ALL LIGHTING EXCEPT SECURITY LIGHTING SHALL BE ON A TIME-CLOCK OR PHOTO-SENSOR SYSTEM, AS APPROVED BY CITY OF OWOSSO.
- PARKING LOTS SHALL BE ILLUMINATED WITH A LIGHT-EMITTING DIODE (LED) OR OTHER CITY APPROVED LIGHTING SYSTEM. THE LIGHTING SYSTEM SHALL PROVIDE NOT LESS THAN ONE FOOTCANDLE OVERALL AVERAGE ILLUMINATION WITH A MINIMUM OF 0.5 FOOTCANDLES ON THE PARKING SURFACE.
- LIGHTING STANDARDS IN PARKING LOTS IN AND ADJACENT TO RESIDENTIAL ZONES SHALL NOT EXCEED SIXTEEN FEET (15') IN HEIGHT AS MEASURED FROM THE ADJACENT GRADE TO THE TOP OF THE LIGHT FIXTURE. THE TOTAL LIGHT CUTOFF ANGLE MAY BE NO GREATER THAN 85 DEGREES. ILLUMINATION SHALL NOT BE OF A FLASHING, MOVING OR INTERMITTENT TYPE. ALL ILLUMINATION SHALL BE CONSTANT IN INTENSITY AND COLOR AT ALL TIMES WHEN IN USE.
- PARKING LOT LIGHTS MUST BE FULL CUT OFF TYPE FIXTURES AND LAMPS MUST BE SHIELDED TO PREVENT LIGHT TRESPASS OR GLARE. A WHITE LIGHT SOURCE SHOULD BE USED FOR THE WALL MOUNTED LIGHTS, SUCH AS INCANDESCENT, METAL HALIDE, OR OTHER LAMPS WITH A COLOR RENDERING INDEX OF AT LEAST 70. MAXIMUM LIGHT LEVELS MUST BE LESS THAN OR EQUAL TO 2.0 FOOTCANDLE BEYOND A PROPERTY LINE, ADJACENT TO COMMERCIAL OR INDUSTRIAL.
- SEE THIS SHEET FOR LIGHT FIXTURE DETAILS. THE BUILDING WALLPACK LIGHTS SHALL BE INSTALLED AT 10 FEET OR 12 FEET ABOVE GRADE, AS NOTED. THE CONTRACTOR SHALL CONTACT MISS DIG 72 HOURS PRIOR TO CONSTRUCTION TO VERIFY IF ANY UNDER GROUND UTILITIES WILL BE IN DIRECT CONFLICT.

## LIGHTING STATEMENTS:

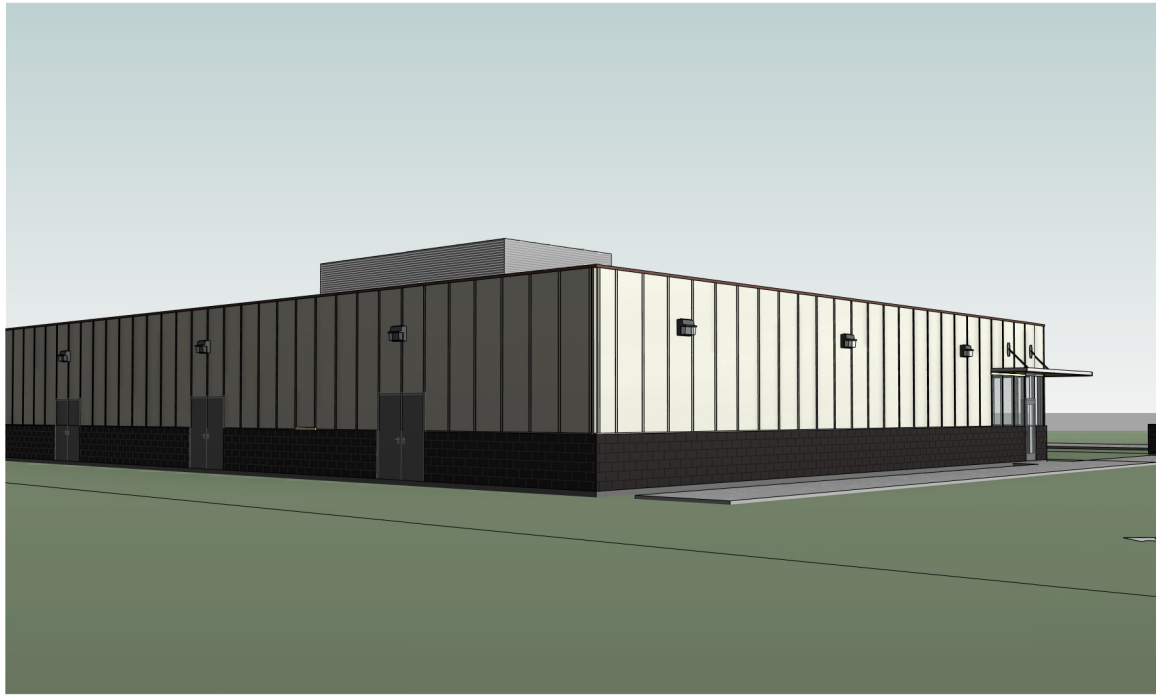
BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS, CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.





2 **3D View 2**



3 **3D View 3**

**GENERAL FRAMING NOTES:**

1. EXTEND ALL INTERIOR PARTITIONS UP TO CEILING STRUCTURE @ MIN. 8' O.C. U.N.O.
2. COORDINATE OPENINGS AND VERTICAL SHAFTS WITH M/E/P AND FIRE TRADES.
3. ALL GYP. BD. TO BE 5/8" AT CEILINGS AND MIN. 1/2" AT WALLS U.N.O.
4. ALL DEMISING WALLS TO BE SECURED TO STRUCTURE ABOVE, SEALING ALL PENETRATIONS PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG DEMISING PARTITION.

**WALL CONSTRUCTION NOTES:**

1. PROVIDE DENSE OR FIBER REINFORCED GYPSUM INTERIOR PANELS TO BE USED AT ALL CORRIDOR AND HIGH IMPACT AREAS.
2. WHERE EXISTING C.M.U. WALLS ARE TO BE FURRED FOR GYP. BD. FINISH, PROVIDE PROPER FURRING DEPTH FOR FLUSH TRANSITIONS TO ADJACENT WALLS.
3. WHERE EXISTING C.M.U. WALLS ARE TO BE RENOVATED, TOOTH IN NEW AREAS AND PROVIDE CONSISTENT FINISH

**LIGHT GAUGE METAL FRAMING:**

1. ALL LIGHT GAUGE FRAMING MEMBERS SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISI "SPECIFICATIONS FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" AND IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
2. ALL MATERIAL SHALL CONFORM TO ASTM A446, WITH MINIMUM YIELD POINT OF 33 KSI FOR 18 GAUGE, AND 50 KSI FOR 16 GAUGE AND HEAVIER MATERIAL. AND SHALL HAVE GALVANIZED COATING TO ASTM A525-GR0.
3. ALL WELDING SHALL CONFORM TO AWS D1.3 SPECIFICATIONS FOR WELDING SHEET STEEL STRUCTURES, AND AWS D19.0 WELDING ZINC COATED STEEL.
4. ALL MATERIAL SHALL BE OF A MINIMUM 18 GAUGE THICKNESS, AND SHALL MEET THE DEFLECTION REQUIREMENTS OF THE FINISH MATERIALS TO BE ATTACHED TO THE LIGHT GAUGE FRAMING WORK.
5. ALL STUDS AND JOISTS SHALL BE INSTALLED AT SPACING INDICATED ON THE DRAWINGS.
6. EACH SIDE OF OPENINGS SHALL BE FRAMED WITH DOUBLE STUDS.
7. ALL STUDS AND JOISTS SHALL HAVE A BRIDGING LINE INSTALLED AT A MAXIMUM SPACING OF 4'-0" AND 3'-0" RESPECTIVELY.
8. ALL JOISTS SHALL HAVE WEB STIFFENERS AT REACTION POINTS AND CONCENTRATED LOADS.
9. STRUCTURAL CONNECTIONS OF LIGHT GAGE METAL FRAMING MEMBERS SHALL BE MADE PER MANUFACTURERS RECOMMENDATIONS, ADEQUATE TO CARRY THE IMPOSED LOADS, AND CONFORMING TO THE AISI AND AWS SPECIFICATIONS.
10. CONNECTION DESIGN TO BE BASED ON REACTIONS GIVEN ON THE DRAWINGS OR AS LISTED IN THE MANUFACTURERS UNIFORM LOADING CAPACITY TABLES, WHICHEVER IS GREATER.
11. SUSPENDED CEILING GRID SYSTEM SHALL COMPLY WITH THE LATEST MICHIGAN BUILDING CODE AND GRID WORK SHALL BE SUPPORTED WITH A MINIMUM OF 2-12 GA. HANGER WIRES ATTACHED TO STRUCTURE ABOVE EXTERIOR CEE FRAMING TO BE STEELFORM DELTA STUDS W/ 1/2" FOIL FACED RIGID SHEATHING. PROVIDE DOUBLE DEFLECTION OR SLOTTED TRACKS ON TOP OF ALL CEE WALLS.
12. ALL LIGHT GAUGE MTL. FRAMING TO FOLLOW PROCEDURES AND PRATICES AS RECOMMENDED BY THE STEEL STUD MANUFACTURERS ASSOCIATION

**FIRE STOPPING:**

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE STOPPING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS.

1. CONCEALED WALL SPACES - FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
2. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES - FIRE BLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
3. STAIRWAYS - FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES BETWEEN STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
4. ARCHITECTURAL TRIM - FIRE BLOCKING SHALL BE INSTALLED WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS AT MAXIMUM INTERVALS OF 20 FEET. IF NON-CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH AT LEAST 4 INCHES OF SEPARATION BETWEEN SECTIONS.

**FIRE BLOCKING MATERIALS:**

FIRE BLOCKING SHALL CONSIST OF 2-INCH NOMINAL LUMBER OR TWO THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD, GYPSUM BOARD, CEMENT FIBERBOARD, BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIRE BLOCK.

**DRAFTSTOPPING:**

DRAFTSTOPPING (REQUIRED IN ENCLOSED AREAS AND ATTICS WHEN BUILDING IS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM) SHALL BE PROVIDED IN DIRECTION OF FRAMING, MAX. 3,000 SQ.FT. COMPARTMENT AREA U.N.O.

**PROJECT INFORMATION**

**Owner:** Ghassan Mansour  
P  
E

**Location:** Parcel No: 050-480-000-003-00

**PROJECT DESCRIPTION:**

**Owner:** Peter Dawidowicz & Ghassan Mansour

**Owner's Rep:** Peter Dawidowicz  
(248) 388-8771  
peterd234@yahoo.com

**Location:** McMillan Road & Industrial Drive  
Owosso, MI 48867

**Parcel ID:** 050-480-000-003-00.

**Legal Description:** The West 1/2 of Lot 2 of the Plat of Owosso Southeast Industrial Park, City of Owosso, Shiawassee County, Michigan, according to the recorded plat, as recorded in Liber 14 of Plats, Page 272, Shiawassee County Records.

**Project Description:** The lot is approx. 166' x 278' at the corner of McMillan Rd and Industrial Dr. in Owosso, MI. The Client is looking to develop a 10,000 square foot pre-engineered marijuana grow facility.

**Scope of work to be done by Architect:**

**Pre-design:** The Architect shall field measure, photo survey, and generally inspect the project site. The house will be modeled in 3D/BIM CAD. Code and ordinance research will be conducted and a summary report will be provided to the Client for review.

**Schematic Design:** The Architect will provide design studies to depict solutions based on existing information and Client's desired program requirements.

**Site work:** Architectural site plan from provided surveys depicting site circulation and general improvements.

**Exterior work:** Provide design studies to depict exterior design solutions based on existing information, Client inspiration images, and desired program requirements.

**Interior work:** Identify potential demolition areas, spatial and functional layouts, and inspirational intent images.

**Note:** Items throughout this report in red typeface are dimensions or areas to be determined after field verification or to be determined during the design process. Items in blue typeface are excerpts from the Zoning Ordinance or Building Code pertaining to the applicable subject.

**BUILDING SUMMARY:**

EXISTING AND PROPOSED GROSS BUILDING AREAS:  
GROUND FLOOR: 11,939 SFG  
TOTAL EXISTING AND PROPOSED GROSS BUILDING AREA: 11,939 SFG

**GOVERNING CODES:**

2015 MICHIGAN RESIDENTIAL CODE (MRC)  
2015 MICHIGAN MECHANICAL CODE (MMC)  
2015 MICHIGAN PLUMBING CODE (MPC)  
2014 NATIONAL ELECTRICAL CODE (NEC)  
2015 MICHIGAN UNIFORM ENERGY CODE (MUEC)  
2015 INTERNATIONAL FIRE CODE NFPA 1, UNIFORM FIRE CODE

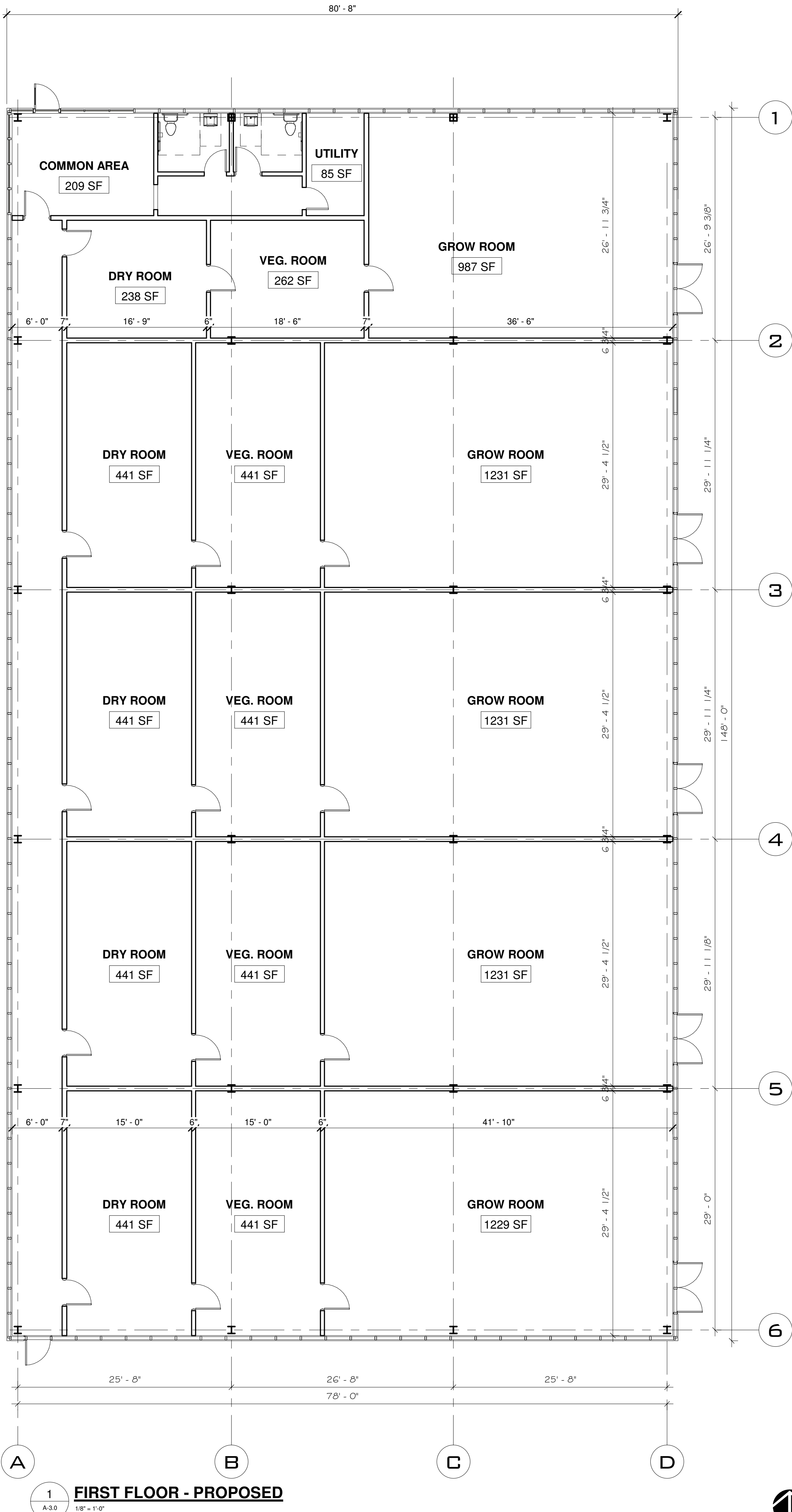
**CONSTRUCTION TYPE:** TYPE VB / NS (NO SPRINKLER SYSTEM)

**GENERAL CONDITION NOTES:**

1. ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS REVIEW AND COORDINATE PLANS WITH EXTERIOR BUILDING ELEVATIONS, SECTIONS, AND DETAILS BEFORE COMMENCING WITH THE WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, BUILDING ELEVATIONS, SECTIONS, AND DETAILS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, AND COORDINATE THE WORK AND CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OR PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY CONSTRUCTED.
2. CONTRACTOR TO PROVIDE PROTECTIVE MEASURES DURING CONSTRUCTION TO ENSURE THAT FROST DOES NOT PENETRATE BELOW FOOTINGS. MEASURES INCLUDE THICK STRAW BEDS, TARPING AND TEMPORARY HEAT AT ANY AREAS OF EXCAVATION BELOW GRADE.
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, RULES AND REGULATIONS
4. ASSUMED SOIL PRESSURE IS 3,000 PSF - VERIFY CAPACITY BEFORE COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT IF LESS THAN THIS VALUE IS FOUND. OWNER SHALL BE RESPONSIBLE TO RETAIN A LICENSED SOIL ENGINEER FOR BORING AND RECOMMENDED DESIGN DATA.

**DRAWING INFORMATION:**

1. ARCHITECTURAL DOCUMENTS ESTABLISH THAT FIRST (MAIN) FLOOR LEVEL = ACTUAL ELEVATION (ASL)
2. FOR COORDINATION OF CIVIL DOCUMENTS: ARCHITECTURAL VALUE = CIVIL ENGINEERS VALUE AND INTERPOLATION SHALL BE REQUIRED BY CONTRACTORS FOR VALUE RELEVANT TO THE SITE.
3. EXTERIOR DIMENSIONS ARE MEASURED FROM FACE OF STUD WALL TO FACE OF STUD WALL. WINDOWS AND DOORS ARE DIMENSIONED TO CENTERS, U.N.O. OR WHERE C.M.U. DIMENSIONS ARE USED.
4. INTERIOR DIMENSIONS ARE MEASURED FACE OF STUD WALL TO FACE OF STUD WALLS. INTERIOR DOORS AND CASED OPENINGS ARE TO BE MIN. 6" OFF WALLS FOR TRIM ALLOWANCE U.N.O.



**FIRST FLOOR - PROPOSED**

**GENERAL CONTRACTOR**

XXXXXXXXXX  
XXX

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**Revision Schedule**

| # | Description | Date |
|---|-------------|------|
|---|-------------|------|

SEAL

**NOT FOR CONSTRUCTION**

DATE  
SEALED

**OWOSSO CAREGIVER GROW**

PROJECT NUMBER: XXXXXXXXXXXXXXXXXX

McMILLAN RD and INDUSTRIAL

OWOSSO, MI

Ghassan Mansour

SHEET TITLE

**PROPOSED FLOOR PLANS**

SHEET NUMBER

**A-2.0**



FINISH NOTES

**PAINTING:**  
SURFACE PREPARATION AND APPLICATION.

**METALS:** ALL METAL SURFACES SHALL BE CLEAN AND FREE OF RUST, MILL SCALE, GREASE, OIL, DIRT AND OTHER FOREIGN MATTER. SURFACES MUST BE ABRASED WITH STEEL WOOL OR ABRASIVE PAPER PRIOR TO PRIME COAT. FINISHES TO BE GLOSS UNLESS NOTED OTHERWISE.

**PLASTER:** DEEP CRACKS MUST BE CUT OUT AND PATCHED BEFORE PRIMER AND PAINT ARE APPLIED. UNDERCUT PLASTER TO A 'V' GROOVE. AFTER PATCH DRIES AND IS SANDED SMOOTH, DUST COMPLETELY. PATCHED AREAS MUST BE SPOT PRIMED AND SCUFF SANDED BEFORE THEY ARE PAINTED. NEW PLASTER MUST BE DRY BEFORE IT IS PRIMED AND PAINTED.

**GYPSUM BOARD:** BE SURE ALL SCREW HEADS ARE SET BELOW THE SURFACE AND SPACKLED OVER. JOINTS SHOULD BE TAPED AND COVERED WITH SUITABLE JOINT COMPOUND. SAND SMOOTH AND DUST WELL BEFORE PRIMING. GYPSUM BOARD SHOULD BE FINISHED TO A LEVEL 4 FINISH UNLESS NOTED OTHERWISE.

**CONCRETE & MASONRY:** SURFACE SHALL BE 'AGED' BEFORE PAINTING. AGING ALLOWS ALKALI TO LEACH OUT OF CEMENT PRODUCTS AND MOISTURE TO ESCAPE. CONCRETE PRODUCTS SHALL BE FILLED BY APPLYING LATEX BLOCK FILLER. PROVIDE SATIN CLEAR SEALERS ON CONCRETE SURFACES AS NOTED.

**WOOD FINISHES:** PROVIDE FINISH SANDING TO REPAIR MINOR DEFECTS IN ALL FINISHED LUMBERS. PATCH MAJOR DEFECTS WITH PROPER WOOD FILLERS. FILLER/SEALER IS USED TO FILL POURS OF OPEN GRAINED WOODS SO THAT STAINS AND VARNISHES WILL DRY EVENLY. APPLY MINIMUM TWO (2) COATS OF CLEAR VARNISH, LIGHTLY SAND OR STEEL WOOL AFTER EACH COAT. ON OPAQUE FINISHES PROVIDE 'KILZ' (OR EQUAL) PRIMER AFTER SANDING. SURFACES PREVIOUSLY COATED WITH GLOSS PAINTS DILUTED WITH PENETROL PER ARCHITECTS DIRECTION. PREPARE TEST STRIPS FOR ALL SPECIAL AND TEXTURED PAINT TO BE APPROVED BY ARCHITECT.

TYPICAL FINISH

**CEILINGS:** FLAT

**WALLS:** SATIN OR EGGSHELL

**TRIM:** SEMI GLOSS; W/CLEAR VARNISH OR

POLYURETHANE

**METALS:** GLOSS; W/CLEAR VARNISH OR

POLYURETHANE



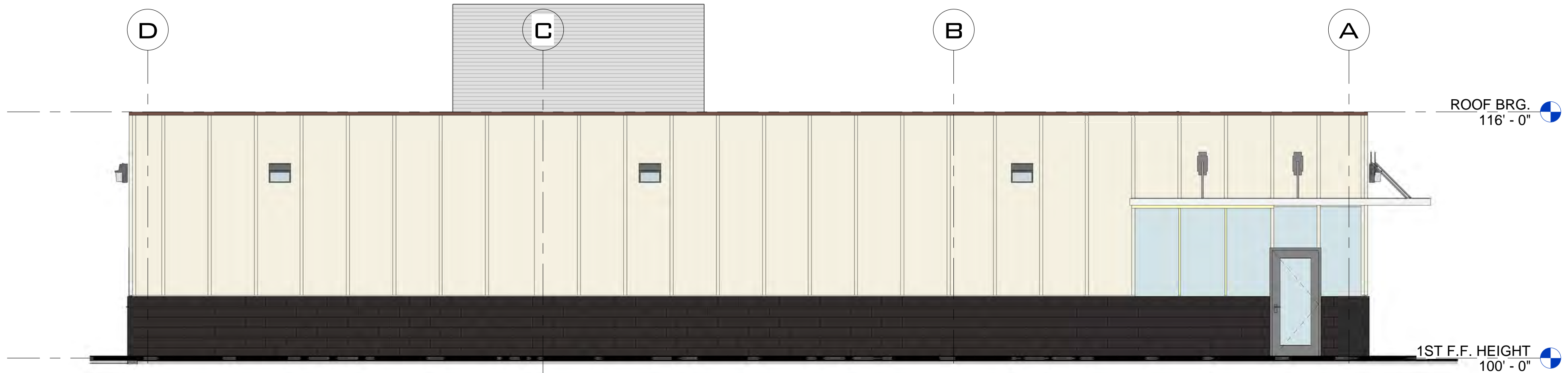
5 3D View 1

MATERIAL LEGEND

36" X 14" TEMO PANEL  
(COLOR: SANDSTONE)

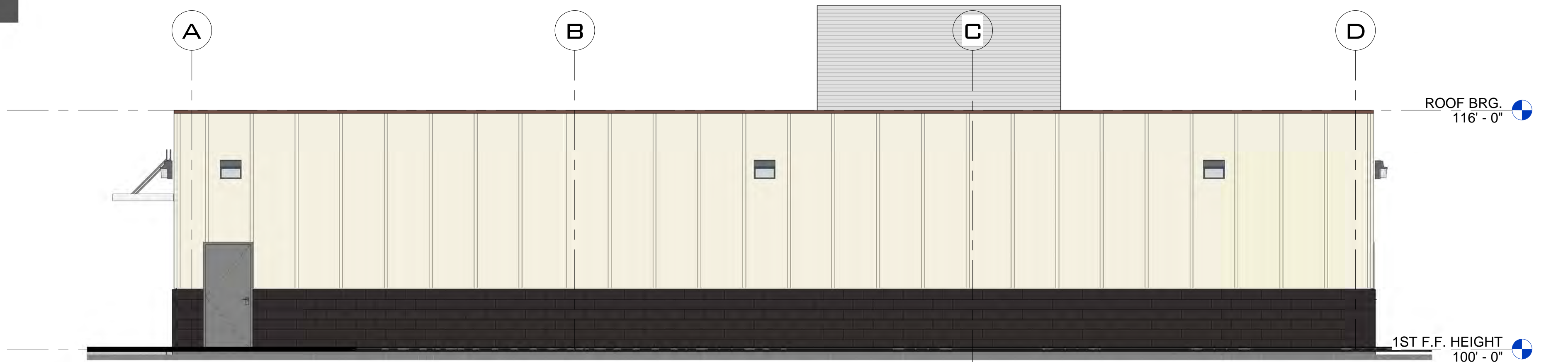
PAINTED CMU  
SHERWIN WILLIAMS:  
SW 7020  
Black Fox

MECH. SCREEN (IF NEC.)  
- TO CONFORM WITH  
OWOSSO ORDINANCE



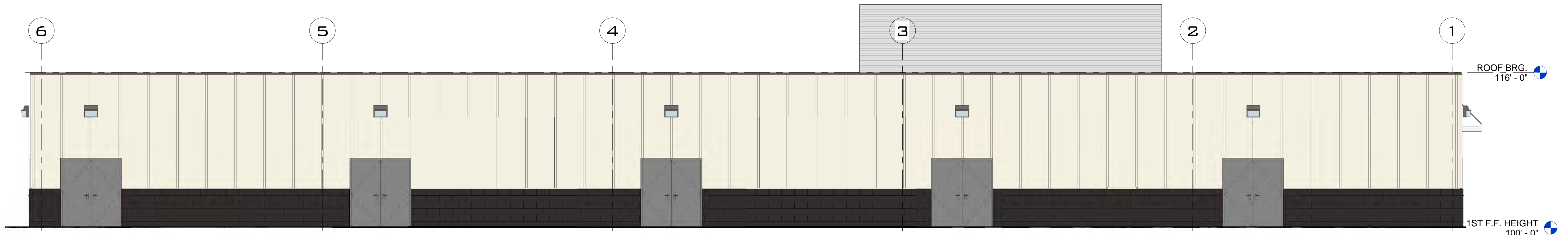
1 NORTH ELEVATION - PROPOSED

3/16" = 1'-0"



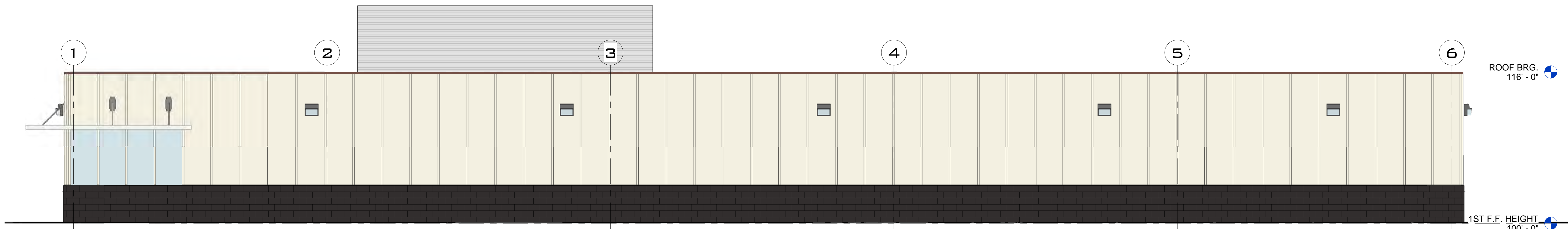
2 SOUTH ELEVATION - PROPOSED

3/16" = 1'-0"



3 EAST ELEVATION - PROPOSED

3/16" = 1'-0"



4 WEST ELEVATION - PROPOSED

3/16" = 1'-0"

GENERAL CONTRACTOR

XXXXXXXXXX  
XXX

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of U.S. COPYRIGHT LAWS and  
will be subject to civil damages  
and prosecution.

Revision Schedule

| # | Description | Date |
|---|-------------|------|
|---|-------------|------|

SEAL

NOT FOR  
CONSTRUCTION

DATE

SEALED

OWOSSO CAREGIVER GROW

PROJECT NUMBER: XXXXXXXXXXXXXXXX  
McMILLAN RD and INDUSTRIAL  
OWOSSO, MI

Ghassan Mansour

PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A-3.0