



CITY OF OWOSSO PLANNING COMMISSION
Regular Meeting
Monday, May 23, 2022 at 6:30 p.m.
AGENDA

- A. CALL TO ORDER**
- B. PLEDGE OF ALLEGIANCE**
- C. ROLL CALL**
- D. APPROVAL OF AGENDA – May 23, 2022**
- E. APPROVAL OF MINUTES – March 28, 2022**
- F. ELECTION OF OFFICERS – *if necessary (due in July 2022)***
- G. PUBLIC HEARINGS: NONE**
- H. SITE PLAN REVIEWS:**
 - 1. 701 S Chestnut St**
 - 2. 1015 S Washington St**
- I. ITEMS OF BUSINESS:**
- J. COMMISSIONER/CITIZEN COMMENTS:**
- K. ADJOURNMENT**

Next regular meeting will be on Monday, June 27, 2022 at 6:30 p.m.

The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and recordings of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours' notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing or calling the following: Amy Kirkland, City Clerk, 301 W. Main St, Owosso, MI 48867 (989) 725-0500. The City of Owosso website is: www.ci.owosso.mi.us

MINUTES
REGULAR MEETING OF THE OWOSSO PLANNING COMMISSION
Monday, March 28, 2022 – 6:30 P.M.

CALL TO ORDER: Chairman Wascher called the meeting to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE: Recited

ROLL CALL: Recording Secretary Molly Hier

MEMBERS PRESENT: Secretary Fear, Commissioner Law, Vice-Chair Livingston, Commissioners Robertson, Taylor and Chairman Wascher

MEMBERS ABSENT: Commissioners Jenkins and Morris

OTHERS PRESENT: Tanya Buckelew, Planning & Building Director

APPROVAL OF AGENDA:

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER TAYLOR TO APPROVE THE AGENDA FOR March 28, 2022.

YEAS ALL. MOTION CARRIED.

APPROVAL OF MINUTES:

MOTION BY VICE-CHAIR LIVINGSTON SUPPORTED BY COMMISSIONER LAW TO APPROVE THE MINUTES FOR THE February 28, 2022 MEETING.

YEAS ALL. MOTION CARRIED.

ELECTION OF OFFICERS: (DUE JULY 2022)

PUBLIC HEARINGS:

1. Public Hearing on the proposed amendments to Chapter 38 Zoning Ordinance Article XIII.-I-1 Light Industrial Districts Sec. 38-292. – Principle Uses Permitted (7) and (12) b.

City Staff is recommending the removal of greenhouses from the Zoning Ordinance for the I-1 Light Industrial Districts due to the potential light pollution issues the City could have if allowed for Marijuana grow.

OPENED PUBLIC HEARING AT: 6:35PM

PUBLIC THAT SPOKE:

Christine Mitchell of 1525 Alturas Dr., asked if a business such as Bordines would be able to open if greenhouse were eliminated from the I-1 Light Industrial zones. Tanya Buckelew explained it would not, as no greenhouses would be allowed if the zoning ordinance change goes through.

Julie Wenzlick of 1101 Riverside Dr., spoke on articles she had read regarding the health and infrastructure effects caused by the use of large greenhouses requiring around the clock lighting and was thankful to see it removed from the Zoning Ordinance.

Tanya Buckelew, Planning and Building Director clarified that this change would only affect the I-1 Light Industrial Districts and not a homeowner's greenhouse in a residential district.

MOTION BY SECRETARY FEAR SUPPORTED BY COMMISSIONER ROBERTSON TO RECOMMEND TO THE CITY COUNCIL TO APPROVE THE AMENDMENT TO CHAPTER 38 ZONING ORDINANCE ARTICLE XIII. – I-1 LIGHT INDUSTRIAL DISTRICTS SEC. 38-292. – PRINCIPLE USES PERMITTED (7) AND (12) B REMOVE “GREENHOUSES”.

YEAS: SECRETARY FEAR, COMMISSIONER LAW, VICE-CHAIR LIVINGSTON,
COMMISSIONER ROBERTSON AND CHAIRMAN WASCHER
NAYS: COMMISSIONER TAYLOR
RCV: 5-1 MOTION CARRIED

COMMISSIONER/CITIZEN COMMENTS:

Julie Wenzlick and Christine Mitchell both expressed appreciation for the Planning Commission and their dedicated time given to the City.

Secretary Fear clarified to the Planning Commission she had language removed from a recent memo to City Council regarding “Planning Commission approval” of the newly adopted food truck ordinance at the recent City Council meeting. The new ordinance pertains to the downtown and city parks, not zoning districts.

Commissioner Robertson asked for further clarification on the food truck ordinance and what was adopted. Tanya Buckelew stated the basic ordinance was adopted to allow food trucks in the downtown area, city parking lots, city parks and block parties. The ordinance takes effect on April 11, 2022. Further clarified the application fees and the parking lots where the trucks would be allowed within the limits. Events and festivals take precedence over the city’s permitting system and the food truck vendor would have to seek approval from the event coordinator. If plans were submitted for a food truck court area on private property, it would be presented to the Planning Commission for a site plan review.

ADJOURNMENT:

MOTION BY COMMISSIONER LAW SUPPORTED BY COMMISSIONER TAYLOR TO ADJOURN AT 6:55 PM UNTIL THE NEXT MEETING ON APRIL 25, 2022.

YEAS ALL, MOTION CARRIED

Janae Fear, Secretary

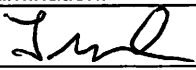
P2022-009
04/27/2022

SITE PLAN REVIEW APPLICATION AND CHECKLIST

CITY OF OWOSSO
301 W MAIN STREET OWOSSO, MI 48867
989-725-0535
building@ci.owosso.mi.us

- Site plan required for all commercial, industrial and multi-family residential
- Application must be filed at least 25 days prior to a scheduled Planning Commission meeting for staff review and proper notices (see page 3 for submittal deadlines).
- This application is submitted with one (1) copy of the complete site plan and appropriate fees.
- Applicant shall also submit a digital version of the site plan.

Approval of the site plan is hereby requested for the following parcel of land in the City of Owosso.		
Property Details:		
Name of Proposed Development: 701 S CHESTNUT LLC		
Property Street Address: 701 S CHESTNUT ST, OWOSSO		
Legal Description of Property:		
Site Area (in acres): 3.303	Parcel ID #: 050-546-000-026-00	Zoning: I-1
Ownership:		
Name: 701 S CHESTNUT LLC, Terry & Georgia Gregorick		
Address: 2300 N CHIPMAN Rd Owosso, MI 48867		
Telephone No: 989 277 4235	Email: Tegecorp@aol.com	
Applicant:		
Applicant (If different from owner above):		
Address:		
Telephone No:	Email address:	
Interest in Property (potential buyer/lease holder/potential lessee/other):		
Architect/Surveyor/Engineer preparing site plan:		
Name: Gazall, Lewis & Assoc		
Address: 503 SOUTH SAGINAW ST Suite 100		
Telephone No: 810 239-4691	Email: JGazall@Gazall-Lewis.com	
Construction Proposed:		
<input type="checkbox"/> Residential	<input type="checkbox"/> Multi-family	<input type="checkbox"/> Number of units
<input checked="" type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Industrial	
Current use VACANT	Proposed use Storage Business	
Existing building(s) square footage 1445	Proposed building(s) square footage 5000 each	

APPLICATION FEES:	
• Apartment/townhouse	• \$550.00 + \$4.50/unit
• Commercial/Industrial	• \$500.00 + \$50.00/acre
• Institutional (Schools, Public Services, Hospitals)	• \$475.00 + \$40.00/acre
• Mobile home park	• \$575.00 + \$5.00/unit
• Planned Unit Development/Mixed use development	• \$550.00 + \$50.00/acre
• Preliminary site plan review	• 75% of site plan review fee
• Single family site condo (prelim or final)	• \$700.00 + \$5.00/lot
• Site plan revision/review	• 75% of site plan review fee + any needed consulting fees determined by administration
• Site plan requiring review by city engineer	• all costs by owner/applicant via escrow
• Special meetings with planner/engineer	• all costs by owner/applicant via escrow
• Escrow Fee (Consultant fees for planning, zoning)	• \$1,500
❖ A cash deposit of \$1,500 shall be placed with the City of Owosso	
❖ The City will let the applicants know when additional funds are needed (typically when about 25% is remaining)	
❖ Should there be funds remaining in the account after completion of the project, the balance will be returned	
1. The attached checklist has been completed to certify the data contained on the site plan. If the required data has not been provided, the appropriate box has been checked with a statement of explanation on why the data has not been provided.	
2. I understand that if my site plan is deemed incomplete, it may be returned by the City for revisions without being forwarded to the Planning Commission for consideration, until the requirements have been adequately met.	
3. By signing this application, the applicant hereby grants full authority to the City of Owosso, its agents, employees, representatives, and/or appointees to enter upon the undersigned lands/parcels for the purposes of inspection and examination.	
	4-25-22
Signature of Applicant	Date
Signature of Deed/Title Holder	Date

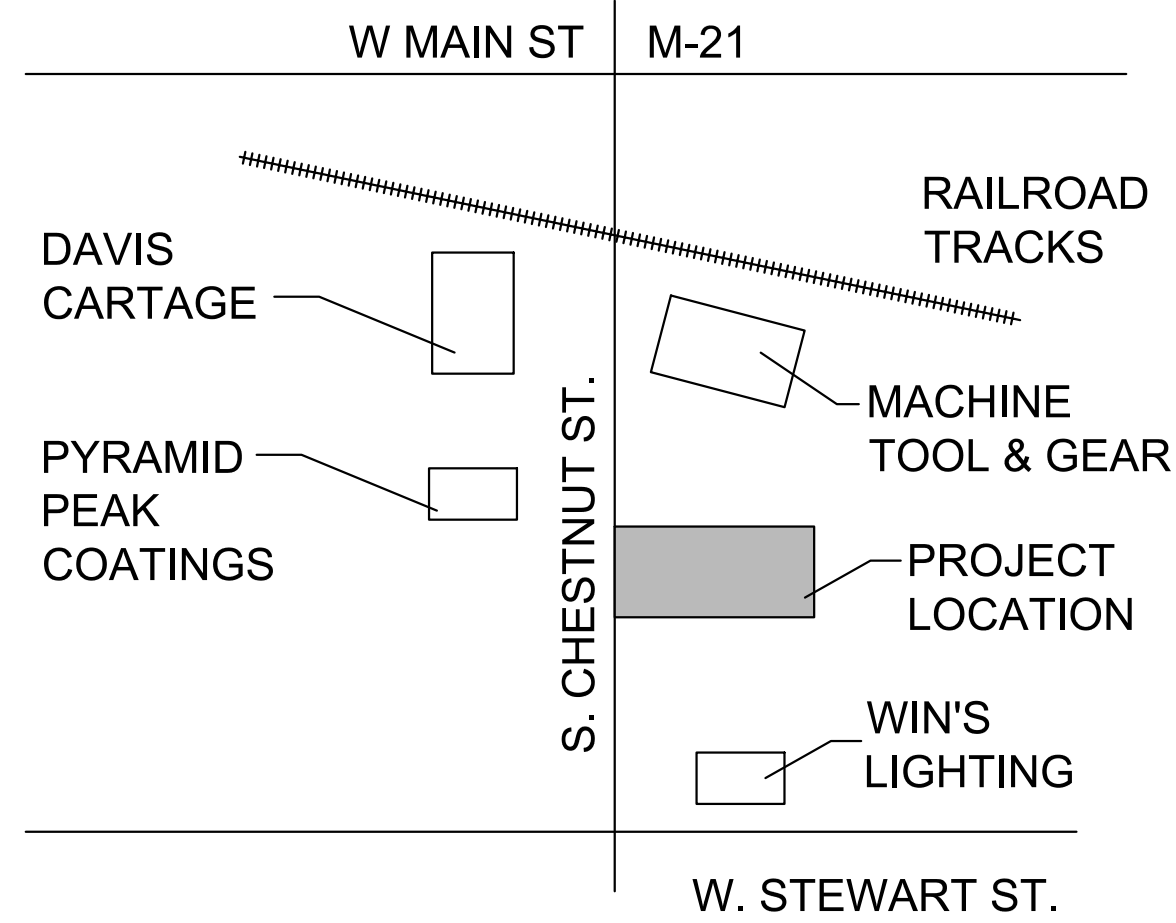
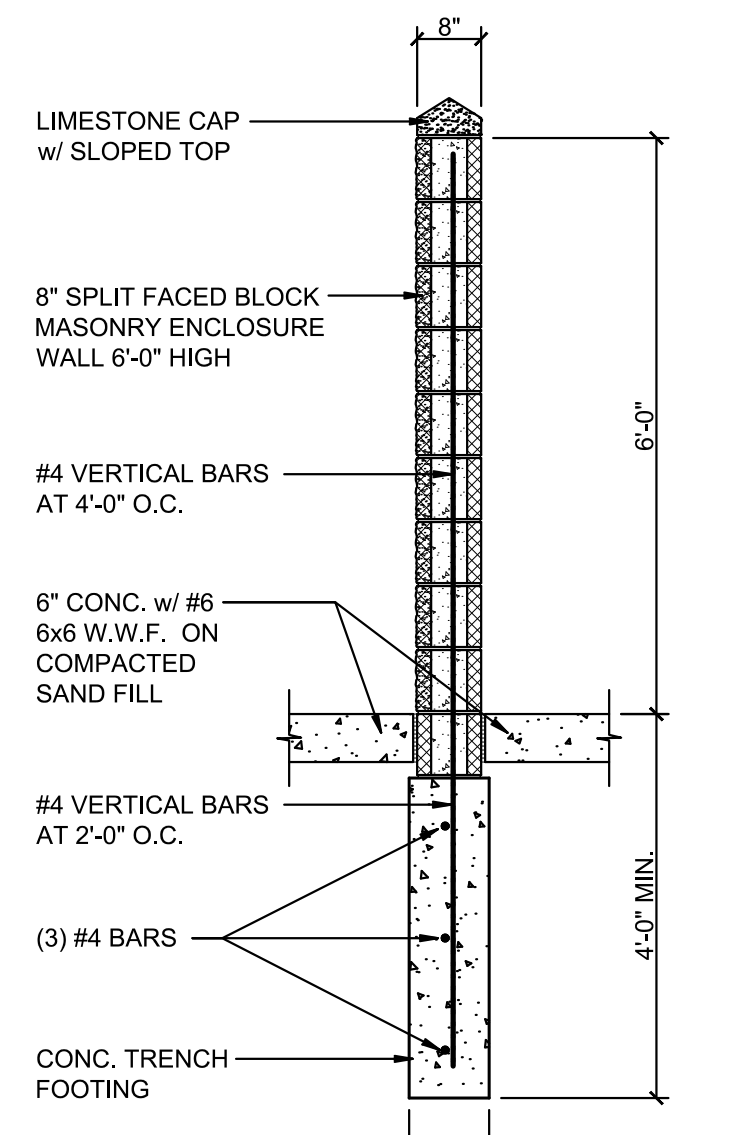
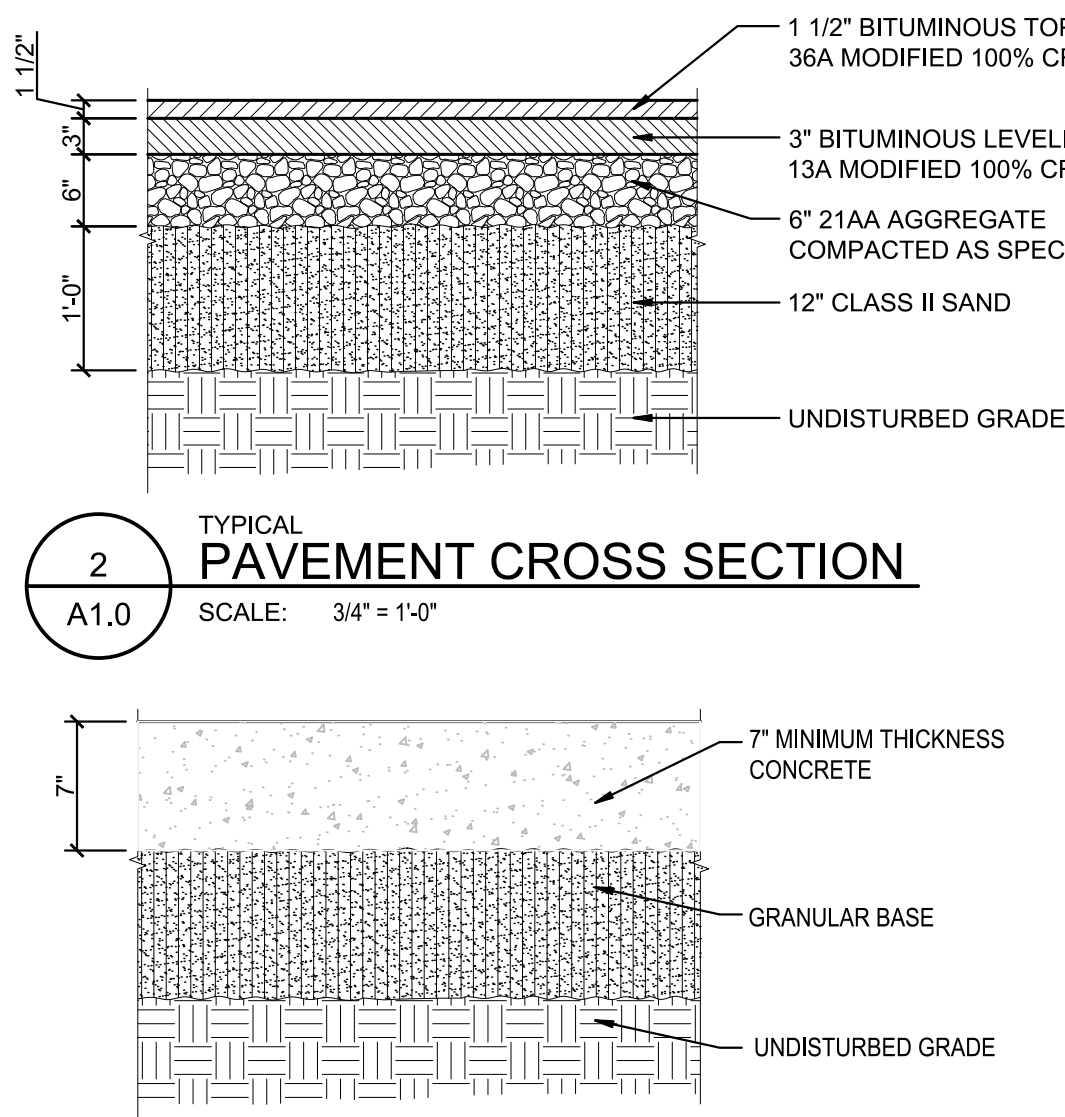
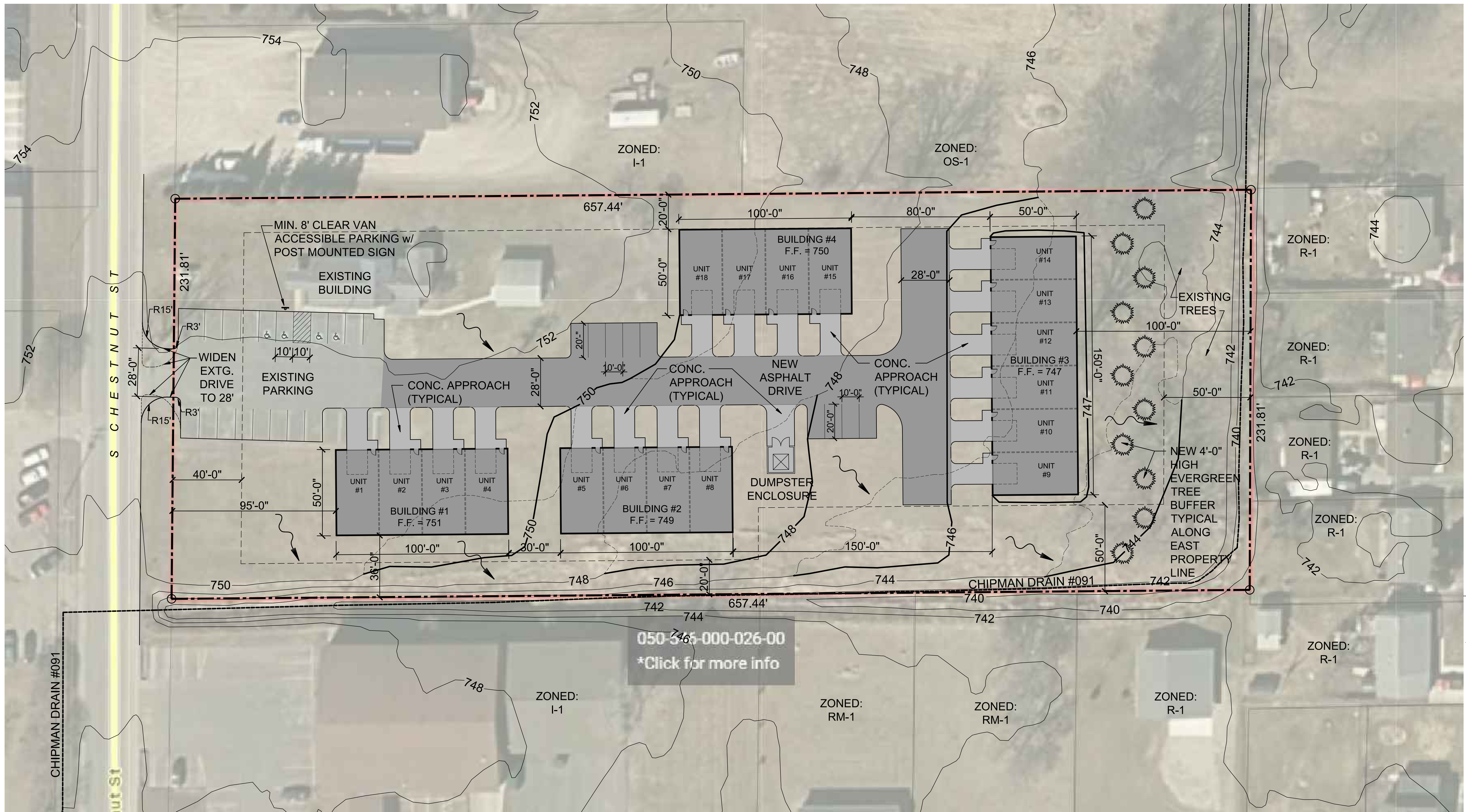
SITE PLAN REVIEW CHECKLIST:

Check the appropriate box. If item is marked as 'not provided', attach detailed explanation.		
	Provided	Not Provided
1. Site location Map	✓	
2. North arrow, scale – 1" equals 50' if the subject property is less than 3 acres and 1" equals 100' if 3 acres or more		
3. Revision dates		
4. Signature and Seal of Architect/Surveyor/Engineer	✓	
5. Area of site (in acres and square feet)	✓	
6. Boundary of the property outlined in solid line	✓	
7. Names, centerline and right-of-way widths of adjacent streets	✓	
8. Zoning designation of property	✓	
9. Zoning designation and use of adjacent properties	✓	
10. Existing and proposed elevations for building(s), parking lot areas and drives	✓	
11. Direction of surface water drainage and grading plan and any plans for storm water retention/detention on site	✓	
12. Required setbacks from property lines and adjacent parcels	✓	
13. Location and height of existing structures on site and within 100' of the property	✓	
14. Location and width of existing easements, alleys and drives	✓	
15. Location and width of all public sidewalks along the fronting street right-of-way and on the site, with details	✓	
16. Layout of existing/proposed parking lot, with space and aisle dimensions	✓	
17. Parking calculations per ordinance	✓	
18. Location of all utilities, including but not limited to gas, water, sanitary sewer, electricity, telephone		
19. Soil erosion and sedimentation control measures during construction	✓	
20. Location and height of all exiting/proposed fences, screens, walls or other barriers	✓	
21. Location and details of dumpster enclosure and trash removal plan	✓	

22. Landscape plan indicating existing/proposed trees and plantings along frontage and on the site	✓	
23. Notation of landscape maintenance agreement	✓	
24. Notation of method of irrigation	✓	
25. Lighting plan indicating existing/proposed light poles on site, along site's frontage and any wall mounted lights	✓	
a. Cut-sheet detail of all proposed light fixtures	✓	
26. Architectural elevations of building (all facades). Identifying height, materials used and colors	✓	
27. Existing/proposed floor plans	✓	
28. Roof mounted equipment and screening		✓
29. Location and type of existing/proposed on-site signage		✓
30. Notation of prior variances, if any		✓
31. Notation of required local, state and federal permits		✓
32. Additional information or special data (for some sites only)		✓
a. Environmental Assessment Study		
b. Traffic Study. Trip Generation.		
c. Hazardous Waste Management Plan.		
33. For residential development: a schedule indicating number of dwelling units, number of bedrooms, gross and usable floor area, parking provided, total area of paved and unpaved surfaces		
34. LLC establishments must have a current Plan of Operation.		
35. Is property in the floodplain?		
36. Will this require MDEQ permitting?		
37. Performance Bond – when required.		

Additional data deemed necessary to enable to completion of an adequate review might be required by the Planning Commission, City, and/or its Consultants.

<u>2022 Meeting Date</u>	<u>Submittal Deadline</u>
January 24	December 29
February 28	January 31
March 28	February 28
April 25	March 31
May 23	April 29
June 27	May 31
July 25	June 30
August 22	July 29
September 26	August 31
October 24	September 30
November 28	October 31
December 12	November 21



STREET ADDRESS
701 SOUTH CHESTNUT ST.
OWOSSO, MICHIGAN 48867

PARCEL NUMBER
78-050-546-026-00

TAX DESCRIPTION
PT OF NE 1/4 SEC 23 T7N R2E
BEG ON N-S 1/4 LN 231.81' N OF
CENTER POST OF SD SEC, TH N
231.81', TH E PAR WITH E-W 1/4
LN 657.44', TH S 231.81', TH W
657.44' POB (EXC ST R/W)

PARCEL AREA
144,594 SQ. FT. (3.3 ACRES)

STORAGE BUILDINGS AREA CALCS:
BUILDING #1 5,000 SQ. FT.
BUILDING #2 5,000 SQ. FT.
BUILDING #3 7,500 SQ. FT.
BUILDING #4 5,000 SQ. FT.
TOTAL AREA: 22,500 SQ. FT.

STORAGE UNIT INFORMATION:
TYPICAL UNIT SIZE: 25'x50'
TOTAL # OF UNITS: 18

ZONING:
I-1: LIGHT INDUSTRIAL

SETBACKS (SEE NOTES):

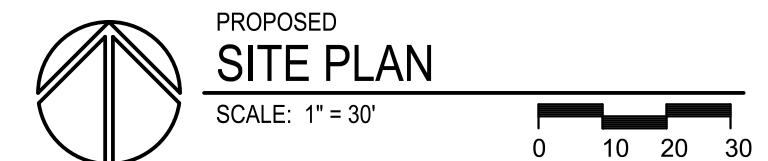
FRONT: 40'
REAR: **50'
SIDES: **20' EACH

**NOTE: 50' AT RESIDENTIAL

MAXIMUM BLDG. HEIGHT: = 40'

PARKING REQUIREMENTS:
SIZE: 9'x18'-4" MIN.
REQUIRED: 5 SPACES MIN.
PROVIDED: 9 SPACES

EXTERIOR LIGHTING
ABOVE ALL ENTRANCE DOORS AT
ALL BUILDINGS TO HAVE EXTERIOR
MOUNTED WALL LIGHTING PACKS.
ALL LIGHTING FIXTURES TO BE
SHIELDED AND FIXED AT 90 DEGREE
ANGLES TO PREVENT THE SPREAD
OF LIGHT TO ADJACENT PROPERTIES

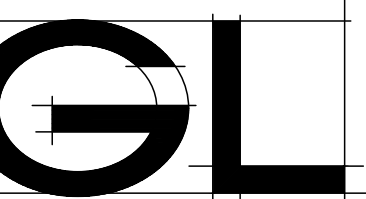


SITE PLAN NOTES:

- BARRIER-FREE ACCESSIBILITY WILL BE PROVIDED FROM FINISH GRADE TO UNIT DOOR ENTRIES.
- REFER TO THIS SHEET FOR B.F. VAN ACCESSIBLE PARKING SPACE LOCATION AND DIMENSIONS w/ POST MOUNTED B.F. VAN ACCESSIBLE SIGN PROVIDED.
- EXISTING DRIVE TO BE WIDENED TO 28'-0". CITY OF OWOSSO RIGHT OF WAY PERMIT SHALL BE OBTAINED FOR PROPOSED NEW DRIVEWAY MODIFICATION PER CITY OF OWOSSO ENGINEERING OFFICE.
- SURFACE WATER OF NEW PARKING LOT, DRIVES AND BUILDING GUTTER SYSTEM TO FLOW TO CHIPMAN DRAIN PER SHIAWASEE COUNTY DRAIN COMMISSION APPROVAL.
- CONCRETE APPROACHES SHALL BE PROVIDED FROM DRIVEWAY CONNECTION TO EACH UNIT AND THE DUMPSTER ENCLOSURE.
- ALL NEW LIGHTING WILL BE SHIELDED AND FIXED AT 90 DEGREE ANGLES TOWARD THE GROUND.

GAZALL, LEWIS & ASSOCIATES ARCHITECTS, INC.

MOTT FOUNDATION BUILDING
503 SOUTH SAGINAW STREET SUITE 100
FLINT, MICHIGAN 48502



NEW STORAGE BUILDINGS FOR
TERRY GREGORICKA
701 S. CHESTNUT ST. OWOSSO, MI 48867

COMMISSION
2022-06

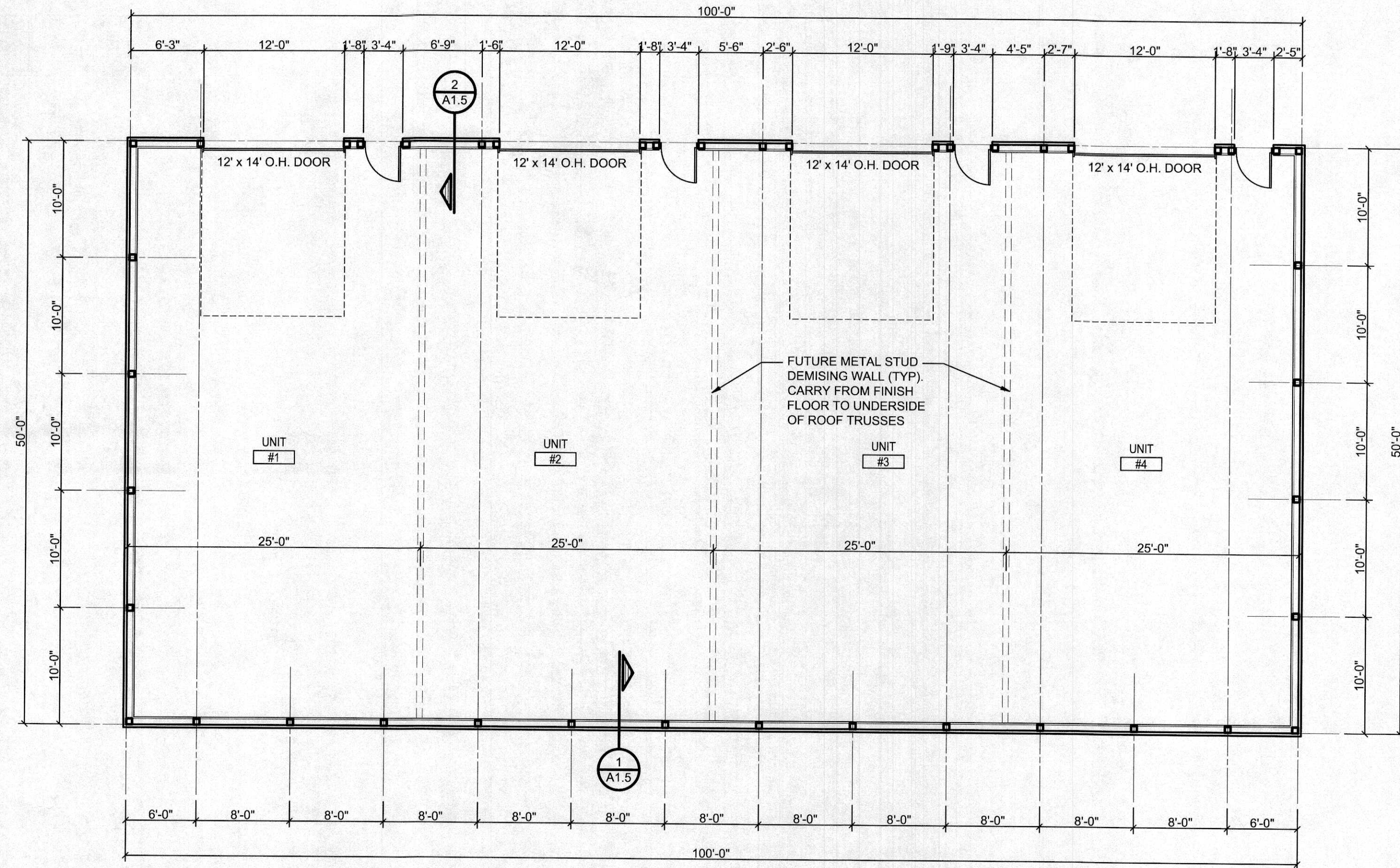
SHEET

A1.0

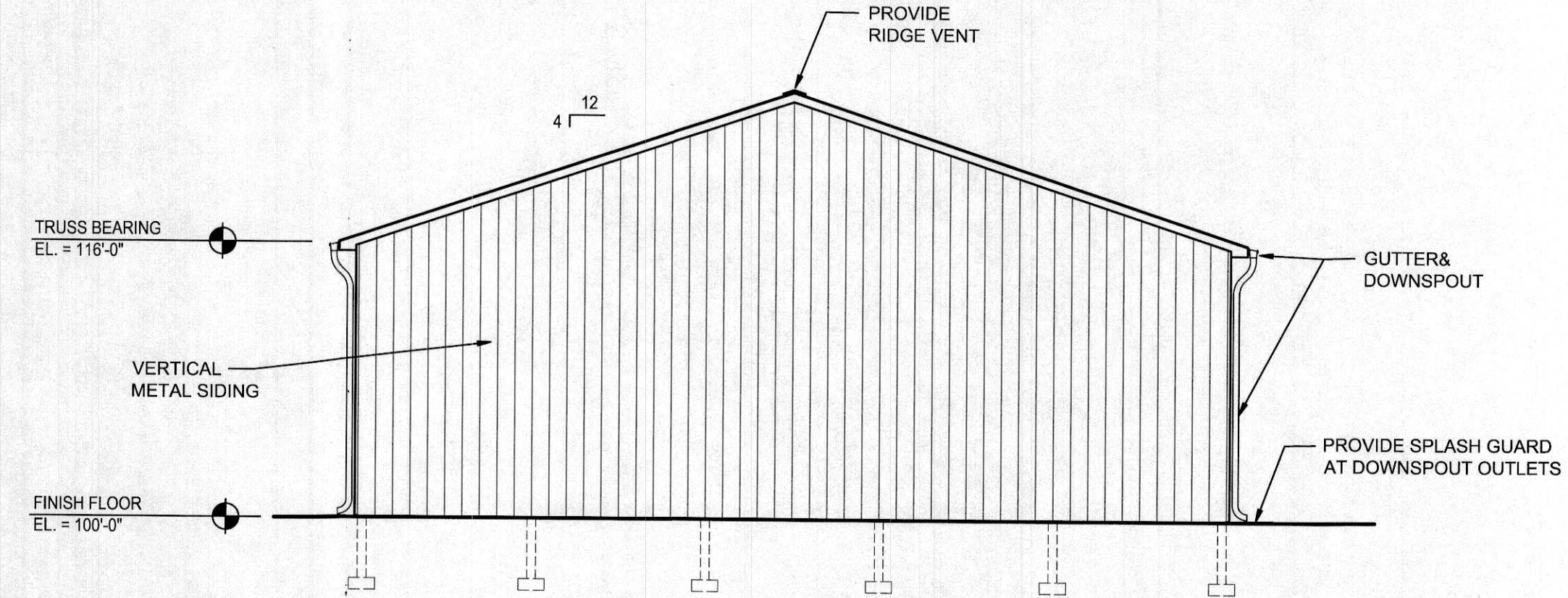
DRAWN	C.A.N.	CHECKED	REVISED DATE	DATE
5-6-22: REVISED				
5-12-22: REVISED				
5-19-22: REVISED				

May 19, 2022 = 11:13am

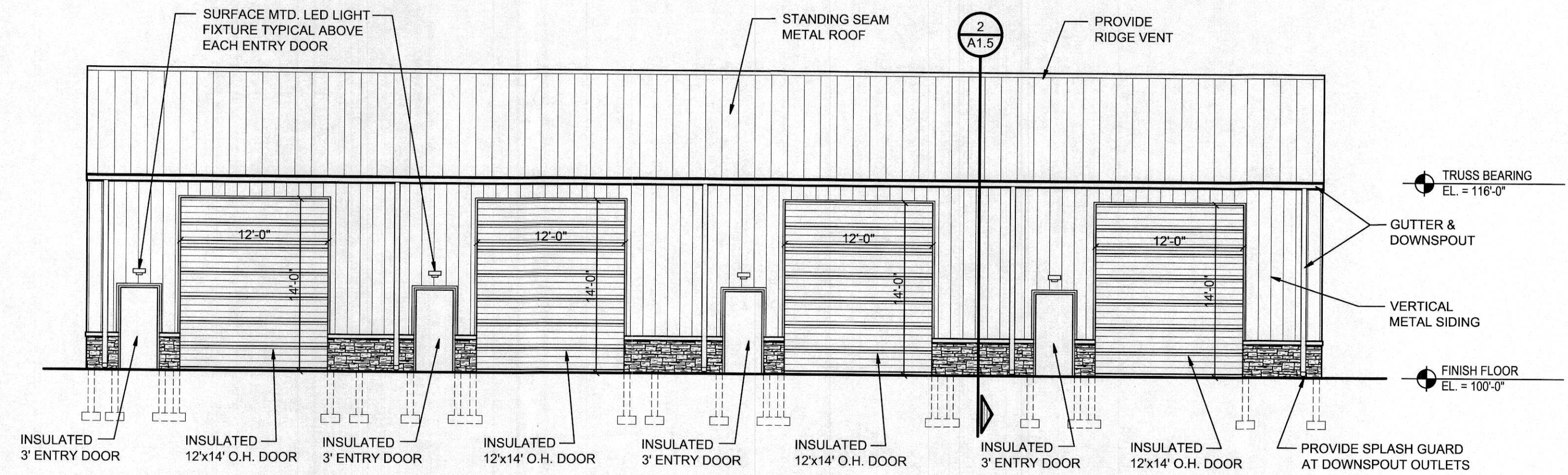
X:\2022-06 TERRY GREGORICKA - OWOSSO STORAGE\2022-06 SITE.dwg



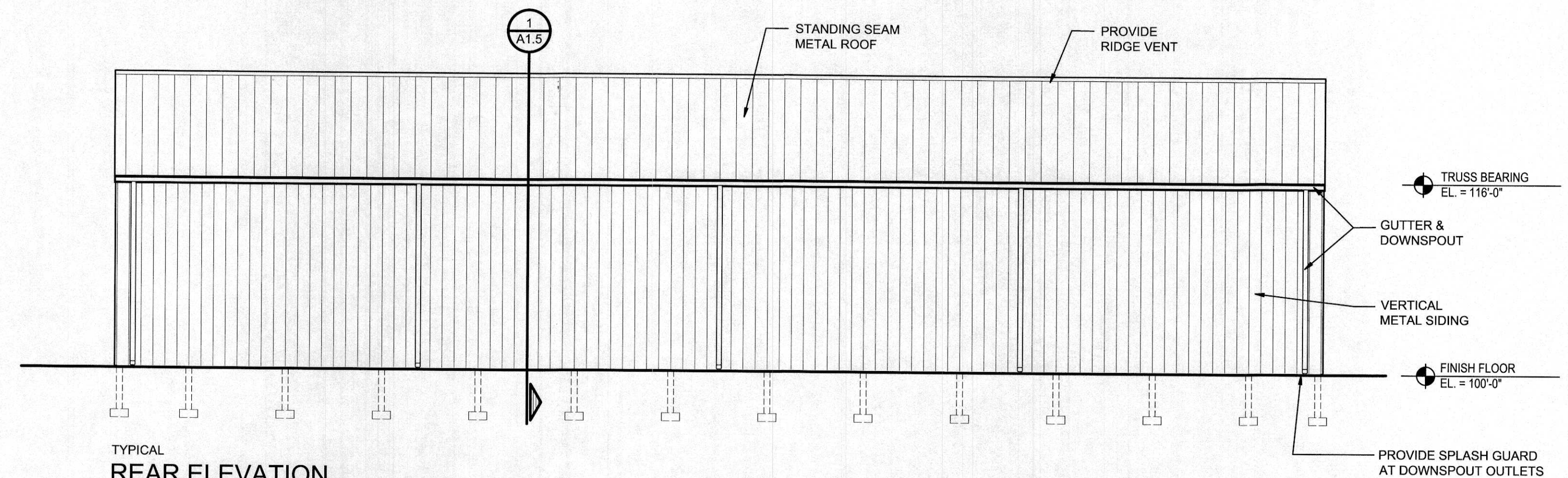
TYPICAL
FLOOR PLAN
SCALE: 1/8" = 1'-0"



TYPICAL
SIDE ELEVATION
SCALE: 1/8" = 1'-0"



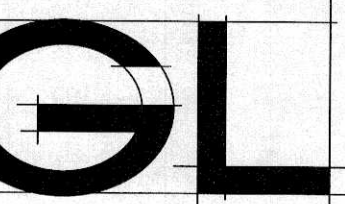
TYPICAL
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



TYPICAL
REAR ELEVATION
SCALE: 1/8" = 1'-0"

GAZALL, LEWIS & ASSOCIATES ARCHITECTS, INC.

MOTT FOUNDATION BUILDING
503 SOUTH SAGINAW STREET SUITE 100
FLINT, MICHIGAN 48502



NEW STORAGE BUILDINGS FOR
TERRY GREGORICKA
701 S. CHESTNUT ST., OWOSSO, MI 48867

COMMISSION
2022-06

SHEET

A1.1

DRAWN	C.A.N.	CHECKED	REVISED DATE	DATE
				APRIL 19 2022
REVISIONS				

X: 2022-06 TERRY GREGORICKA - OWOSSO STORAGE 2022-06 AFP.dwg



May 10, 2022

Planning Commission
City of Owosso
301 W. Main Street
Owosso, Michigan 48867

Subject: **701 S Chestnut Street Site Plan Review.** Approximately 3.3 acres, located on the east side of S. Chestnut, north of W. Stewart. Zoned I-1, Light Industrial.

Attention: Ms. Tanya Buckelew, Planning and Building Director

Dear Planning Commissioners:

At your request, we have completed our review of the above site plan to utilize an existing commercial building and develop 16, 1,250-square foot storage spaces in 4 buildings on the property. The site development will include the updating an existing building, will utilize 9 existing parking spaces and add the proposed new buildings. The property is currently zoned I-1, Light Industrial, where this use is a permitted land use.

The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and your own findings based on ordinance standards as part of your deliberation.

REVIEW COMMENTS

Section 36-390 of the City of Owosso Zoning Ordinance lists the submittal requirements for site plan review. Based on our review of the proposal, discussions with the Planning and Building Director, meetings with the applicant and a visit to the site, we offer the following comments for your consideration:

- 1. Information items.** The site plan meets the informational requirements of the ordinance.

2. Area and Bulk. The proposed site was reviewed in accordance with *Article 16, Schedule of Regulations*, as described in the following table.

	Required	Provided	Comments
701 S Chestnut State Street (I-1 Zoning)			
Front Yard Building Setback	40 ft.	95 ft	In compliance
Side Yard Building Setback	20 ft.	20' & 20' ft	In compliance
Rear Yard Building Setback	50 ft.	100 ft.	In compliance
Maximum Building Height	40 ft.	16 ft	In compliance

3. Building Design & Materials. The ordinance states that durable building materials which provide an attractive, quality appearance must be utilized. **The proposed building materials are acceptable for the I-1 District**

4. Building Height. The proposed building complies with the maximum building height.

5. Mechanical Units. No new mechanical units are proposed on the plan.

6. Dumpster. The proposed dumpster meets ordinance requirements.

7. Parking Lot Requirements. This requirement has been met.

8. Landscaping. **It does not appear that any new landscaping is proposed.**

9. Buffering. Per Section 38.389, a buffering wall of durable and high-quality materials is required along the property line separating the industrial district from the residential district. **The site plan does not show any type of buffering wall or fence or a landscaped alternate screening type which is required along the eastern property line where the property is abutting residential**

10. Lighting. Site lighting appears to meet the ordinance standards. **It is noted that all new lighting should be shielded and fixed at 90-degree angles toward the ground, not at a 45 degree or other degree angle from the pole or building.**

11. Other Approvals. The proposed site plan must be reviewed and approved by the appropriate city departments, consultants, and agencies.

RECOMMENDATION

Based upon the above comments, **we recommend approval of the 701 S Chestnut Site Plan, conditioned upon the following:**

1. Addition of a screening wall, fence or Planning Commission approved landscaping materials to satisfy buffering requirements of the Zoning Ordinance;
2. Clarification if any new landscaping is proposed;
3. That all light fixtures are fixed in a 90 degree to the ground, downward facing position; and
4. Review and approval by the appropriate city departments, consultants, and agencies.

If you have any further questions, please contact us at 810-734-0000.

Sincerely,

CIB Planning

A handwritten signature in black ink, appearing to read "Justin Sprague", written over the printed name and title.

Justin Sprague
Vice President

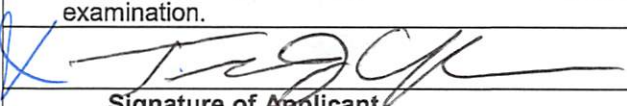
SITE PLAN REVIEW APPLICATION AND CHECKLIST

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- This application is submitted with one (1) copy of the complete site plan and appropriate fees.
- Applicant shall also submit a digital version of the site plan.

Approval of the site plan is hereby requested for the following parcel of land in the City of Owosso.		
Property Details:		
Name of Proposed Development: BACK OF HOUSE		
Property Street Address: 1015 S. WASHINGTON		
Legal Description of Property: LOTS 20, 21 BLK 11 AL WILLIAMS		
Site Area (in acres): .25	Parcel ID #: 050-552-011-012-00	Zoning: D-4
Ownership:		
Name: TRAVIS YAKLIN		
Address: 1015 1201 N WASHINGTON		
Telephone No: 810 730 0544	Email: TRAVYAK@GMAIL.COM	
Applicant:		
Applicant (If different from owner above):		
Address:		
Telephone No:	Email address:	
Interest in Property (potential buyer/lease holder/potential lessee/other):		
Architect/Surveyor/Engineer preparing site plan:		
Name: JEFF PELTIER		
Address: 1888 KETEGAWA OWOSSO		
Telephone No: 989-413-7816	Email: TEAMDESIGNARCH@GMAIL.COM	
Construction Proposed:		
<input type="checkbox"/> Residential	<input type="checkbox"/> Multi-family	<input type="checkbox"/> Number of units
<input checked="" type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Industrial	
Current use KNIFE SHARPENING	Proposed use SAME	
Existing building(s) square footage	Proposed building(s) square footage	

APPLICATION FEES:	
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 Signature of Applicant	5/9/22 Date
Signature of Deed/Title Holder	Date

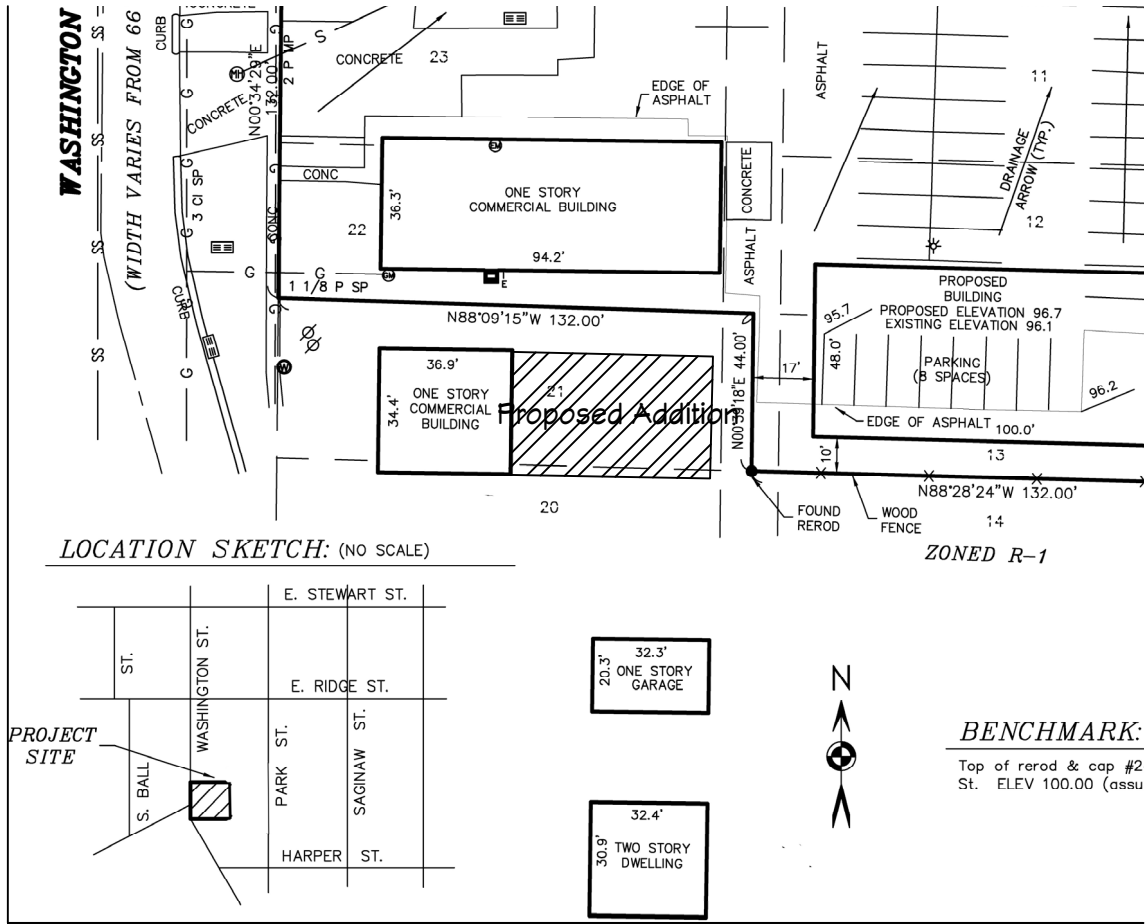
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10. Existing and proposed elevations for building(s), parking lot areas and drives	X	
11. Direction of surface water drainage and grading plan and any plans for storm water retention/detention on site	X	
12. Required setbacks from property lines and adjacent parcels	X	
13. Location and height of existing structures on site and within 100' of the property	X	
14. Location and width of existing easements, alleys and drives	X	
15. Location and width of all public sidewalks along the fronting street right-of-way and on the site, with details	X	
16. Layout of existing/proposed parking lot, with space and aisle dimensions	X	
17. Parking calculations per ordinance	X	
18. Location of all utilities, including but not limited to gas, water, sanitary sewer, electricity, telephone		
19. Soil erosion and sedimentation control measures during construction		
20. Location and height of all exiting/proposed fences, screens, walls or other barriers	X	
21. Location and details of dumpster enclosure and trash removal plan		

22. Landscape plan indicating existing/proposed trees and plantings along frontage and on the site	X	
23. Notation of landscape maintenance agreement		
24. Notation of method of irrigation		
25. Lighting plan indicating existing/proposed light poles on site, along site's frontage and any wall mounted lights	X	
a. Cut-sheet detail of all proposed light fixtures		
26. Architectural elevations of building (all facades). Identifying height, materials used and colors	X	
27. Existing/proposed floor plans	X	
28. Roof mounted equipment and screening		N/A
29. Location and type of existing/proposed on-site signage		
30. Notation of prior variances, if any		N/A
31. Notation of required local, state and federal permits		
32. Additional information or special data (for some sites only)		
a. Environmental Assessment Study		
b. Traffic Study. Trip Generation.		
c. Hazardous Waste Management Plan.		
33. For residential development: a schedule indicating number of dwelling units, number of bedrooms, gross and usable floor area, parking provided, total area of paved and unpaved surfaces		
34. LLC establishments must have a current Plan of Operation.		
35. Is property in the floodplain?		
36. Will this require MDEQ permitting?		
37. Performance Bond – when required.		

Additional data deemed necessary to enable to completion of an adequate review might be required by the Planning Commission, City, and/or its Consultants.

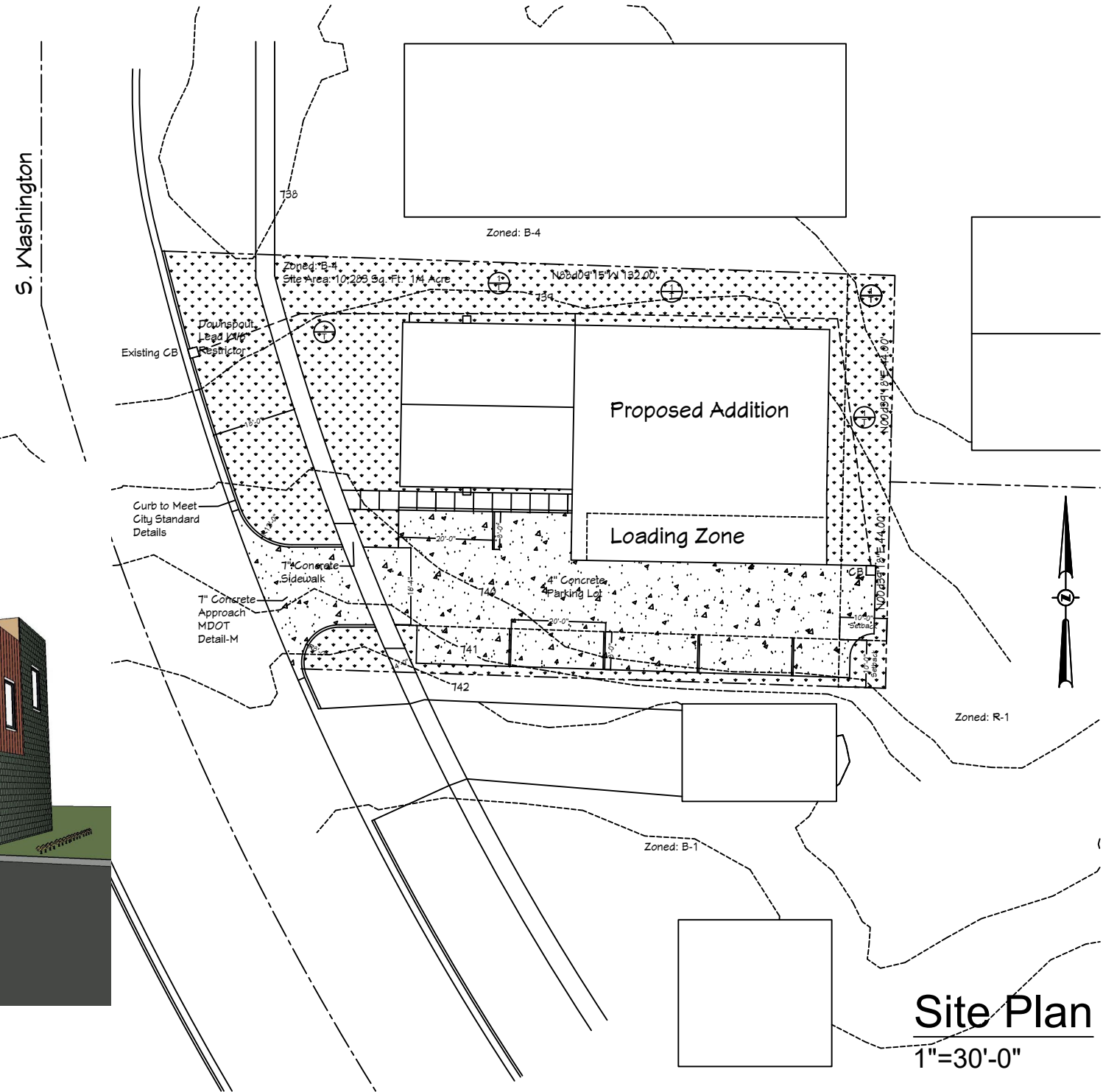
<u>2022 Meeting Date</u>	<u>Submittal Deadline</u>
January 24	December 29
February 28	January 31
March 28	February 28
April 25	March 31
May 23	April 29
June 27	May 31
July 25	June 30
August 22	July 29
September 26	August 31
October 24	September 30
November 28	October 31
December 12	November 21



Project Location



Conceptual Rendering



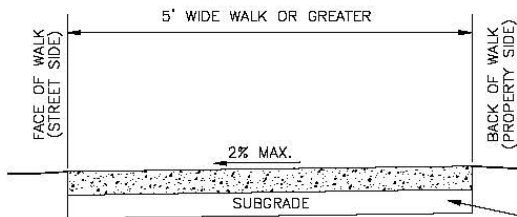
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Project
BOH Services
1015 S. Washington
Owosso, Mi
48667

Drawing
Site Plan
Zoning and Code

Analysis

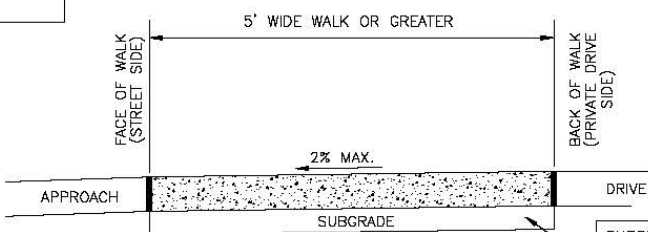
SIDEWALK CONSTRUCTION DETAIL



SUBGRADE AREA TO BE A CLASS II SAND MATERIAL OR 21AA AGGREGATE MATERIAL AT 4 INCH DEPTH MINIMUM TO ATTAIN FINISHED SUBGRADE ELEVATION.

FOOT TRAFFIC SIDEWALK (4")

(NON-WEIGHT BEARING)



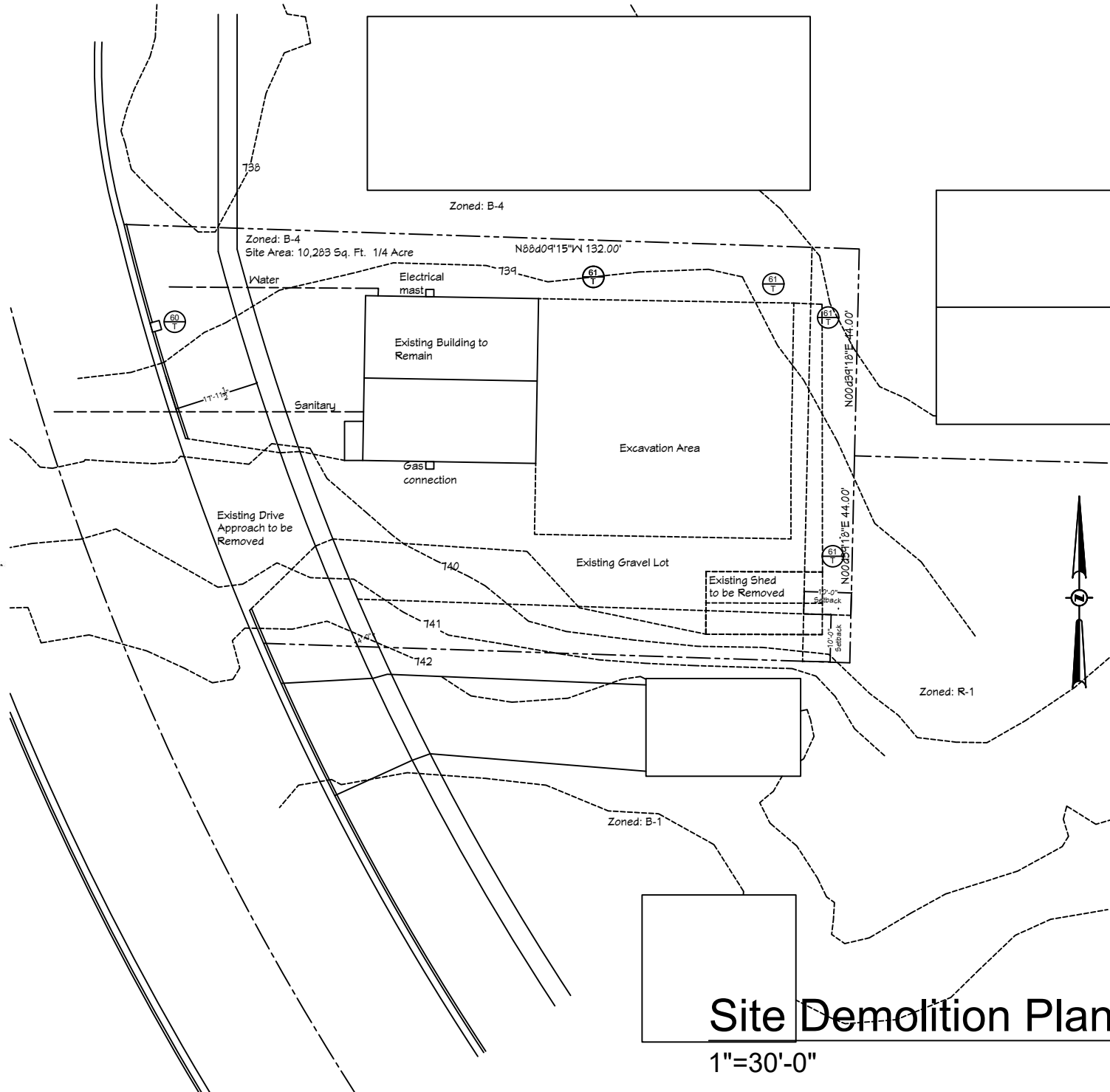
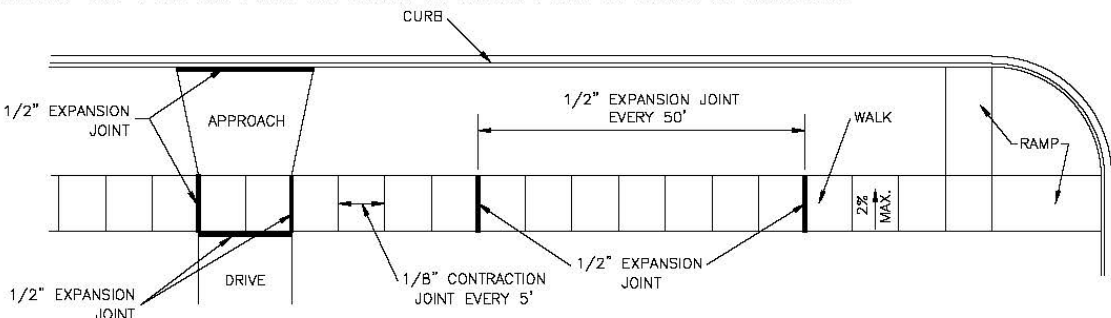
WALK AREA THRU EXISTING OR NEW APPROACH/VEHICLE WEIGHT BEARING AREAS SHALL BE:
RESIDENTIAL = 6 INCHES
COMMERCIAL = 7 INCHES
INDUSTRIAL = 9 INCHES

VEHICLE/FOOT TRAFFIC SIDEWALK

(WEIGHT BEARING)

NOTE:
ALL AREAS WHERE TREE ROOTS HAVE ALTERED THE STATE OF THE WALK AND OR RAMP SHALL HAVE SAID ROOTS REMOVED TO A DEPTH OF 4 INCHES BELOW THE FINISHED SUBGRADE OF WALK AND OR RAMP.

- NOTE:
- ALL SIDEWALK AND APPROACH AREAS ARE TO BE A MDOT P1/S2 GRADE, 6 FULL SACK, CONCRETE WITH A 3500 P.S.I. STRENGTH.
 - ALL RAMP AREAS ARE TO BE CONSTRUCTED IN ACCORDANCE TO THE MDOT STANDARD R-28-1 FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAIL. RAMP AREA CURB MUST BE REPLACED TO CONFORM TO SAID STANDARD. CITY OF SAGINAW CURB REPLACEMENT AND PAVEMENT SECTION REPAIRS ALSO APPLY. STANDARDS AVAILABLE UPON REQUEST FROM THE CITY OF SAGINAW ENGINEERING DIVISION.
 - NO REINFORCEMENT IS ALLOWED IN THE CONCRETE WITHIN THE ROAD RIGHT OF WAY
 - PRIOR TO SIDEWALK CONSTRUCTION, A SIDEWALK AND RIGHT-OF-WAY PERMIT MUST BE PURCHASED FROM THE CITY OF SAGINAW ENGINEERING DIVISION.
 - CONCRETE MUST BE REPLACED 72 HOURS FROM THE TIME OF REMOVAL. NO AREAS ARE TO BE VOID OF WALK OVER THE WEEKEND.
 - ALL SIDEWALK CONSTRUCTION FORMS MUST BE INSPECTED BY A REPRESENTATIVE OF THE CITY OF SAGINAW AT LEAST 24 HOURS PRIOR TO THE ORDER OF CONCRETE. INSPECTIONS ARE DONE MONDAY THRU FRIDAY FROM 7:30 A.M. TO 4:00 P.M. CALL 989-759-1410 FOR FORM INSPECTION 24 HOURS PRIOR TO ORDER OF CONCRETE.



Site Demolition Plan
1"=30'-0"

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Date
04/21/2022
Sheet
C2
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PERMANENT SEEDING

Planting Zones:	Lower Peninsula (South of 42ND Zone 1	Lower Peninsula (North of 42ND Zone 2	Upper Peninsula Zone 3
Seeding Window Perennial	4/15 - 10/10	5/1 - 10/1	5/1 - 9/20
Seeding Window Dormant Seeding*	11/15 - Freeze	11/01 - Freeze	11/01 - Freeze

Source: Adapted From MDOT Interim 2003 Standard Specifications For Construction

	Zone 1 Lower Peninsula (South of 42ND Zone 1	Zone 2 Lower Peninsula (North of 42ND Zone 2	Zone 3 Upper Peninsula
Seeding Dates (with Irrigation or Mulch)	4/1 - 8/1	5/1 - 9/20	5/1 - 9/10
Seeding Dates (w/o Irrigation or Mulch)	4/1 - 5/20 or 8/10 - 10/1	5/1 - 6/10 or 8/1 - 9/20	5/1 - 6/15 or 8/1 - 9/20
Dormant Seeding Dates*	11/1 - Freeze	10/25 - Freeze	10/25 - Freeze

Source: Adapted From USDA NRCS Technical Guide #342 (1999)

* Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50 F, prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to recommended seeding dates. No seed germination will take place until spring. A cool season annual grass may be added in an attempt to have some fall growth.

- Mulch must be used with dormant seed.
- Do not seed when the ground is frozen or snow covered.
- Do not use a dormant seed mix on grassed waterways.

When • To finalize stabilization of temporary seeding areas or when an area needs permanent stabilization following completion of construction. Also used when vegetative establishment can correct existing soil erosion or sedimentation problem.

Why • Within 5 days of final grade.

Why • To stabilize soil and prevent or reduce soil erosion/sedimentation problems from developing.

Where • Used on construction and earth change sites which require permanent vegetative stabilization.

- How
1. Review SESC plan and construction phasing to identify areas in need of permanent vegetative stabilization.
 2. Select perennial grass and ground cover for permanent seeding.
 3. Seed mixes vary. However, they should contain native species.
 4. Seed mixes should be selected through consultation with a certified seed provider and with consideration of soil type, light, moisture, use applications, and native species content.
 5. Soil tests should be performed to determine the nutrient and pH levels in the soil. The pH may need to be adjusted to between 6.5 and 7.0.
 6. Prepare a 3" deep seedbed, with the top 3" consisting of topsoil.
 7. Slopes steeper than 1:3 should be roughened.
 8. Apply seed as soon as possible after seedbed preparation. Seed may be broadcast by hand, hydroseeding, or by using mechanical drills.
 9. Mulch immediately after seeding.
 10. Dormant seed mixes are for use after the growing season, using seed which lies dormant in the winter and begins growing as soon as site conditions become favorable.
 11. Protect seeded areas from pedestrian or vehicular traffic.
 12. Divert concentrated flows away from the seeded area until vegetation is established.

Maintenance • Inspect weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetative cover is being established.

• Add supplemental seed as necessary.

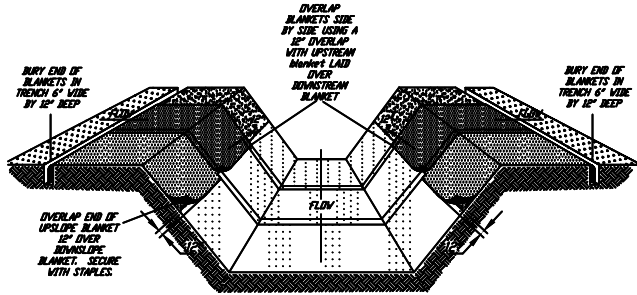
Limitations • Seeds need adequate time to establish.

• May not be appropriate in areas with frequent traffic.

• Seeded areas may require irrigation during dry periods.

• Seeding success is site specific, consider mulching or sodding when necessary.

EROSION CONTROL BLANKET



NOTE: WHEN BLANKETS ARE USED IN FLOWING DITCH, BLANKET ENDS SHOULD NOT OVERLAP PARALLEL TO FLOW DIRECTION IN DITCH CENTER.

CAN BE APPLIED LONGITUDINALLY FOR PROTECTION OF SINGLE SLOPE WHERE WIDTH PERMITS.

When • When unstable areas are subject to erosive surface flows or severe wind, or to provide cover for seeding applications.

Why • Protects unstable areas and slopes against erosion from rain or wind and for temperature control and plant health.

Where • Provides immediate protection on exposed slopes, new ditch bottoms, and other areas subject to surface water runoff and erosion.

- How
1. Prepare subgrade to proper grade and compaction requirements.
 2. Remove ruts, roots, soil clods, or other debris from surface subject to blanket installation.
 3. Consult with erosion control material supplier to select erosion control blanket based on slope gradient, expected surface run-off, and protection term necessary.
 4. Position blankets as close as possible to intended use location and unroll perpendicular to the flow path of the runoff.
 5. Lay blankets downstream first, progressing upstream as if laying shingles. Do not lay blankets in the downstream direction as this will allow water to seep underneath blankets and cause erosion. For the same reason, the blankets on the side slopes of the channel should be laid with the up-slope blankets placed over the down-slope blanket edge. Blankets should not overlap within the channel bottom.
 6. Overlap blanket edges by a minimum of 12" and blanket ends by a minimum of 12".
 7. Install up-slope blanket edge in a trench 6" wide X 12" deep.
 8. Secure blanket with staples or pegs of size and length suited to soil conditions immediately after blanket installation.

Maintenance • Check after a rain event to ensure the blankets are still in place.

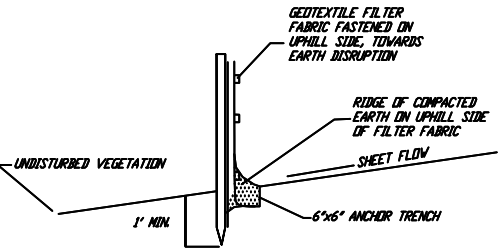
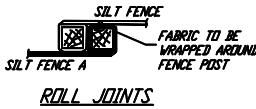
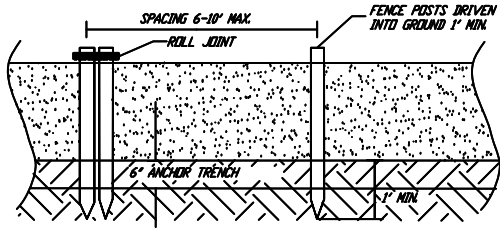
• Repair eroded soil, vehicular and pedestrian traffic, and concentrated runoff away from the blanketed area.

Limitations • For temporary use only.

• Will fail if water flows beneath the blanketing.

• Will deteriorate over time.

SILT FENCE



- When • A temporary measure for preventing sediment movement.
- Why • Used to prevent sediment suspended in runoff from leaving an earth change area.
- Where • Use adjacent to critical areas, wetlands, base of slopes, and watercourses.
- How
1. Install parallel to a contour.
 2. The silt fence should be made of woven geotextile fabric.
 3. Silt fence should accommodate no more than 1/2 to 1 acre of drainage per 100' of fence and on slopes less than 1:2 (uphill).
 4. Dig a 6" trench along the area where the fence is to be installed.
 5. Place 6" of the silt fence bottom flap into the trench.
 6. Backfill the trench with soil and compact the soil on both sides. Create a small ridge on the up-slope side of the fence.
 7. Install wooden stakes 6 - 10' apart and drive into the ground a minimum of 12".
 8. Staple the geotextile fabric to the wooden stakes.
 9. Join sections of silt fence by wrapping ends together (See drawing).

Maintenance • Inspect frequently and immediately after each storm event. Check several times during prolonged storm events. If necessary, repair immediately.

• If the sediment has reached 1/3 the height of the fence, the soil should be removed and disposed of in a stable upland site.

• The fence should be reinstalled if water is seeping underneath it or if the fence has become ineffective.

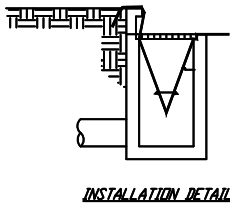
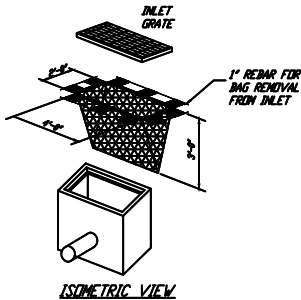
• Silt fence should be removed once vegetation is established and up-slope area has stabilized.

Limitations • Silt fence may cause temporary ponding and could fail if too much water flows through the area.

• Do not use in areas with concentrated flows.

• Chance of failure increases if fence is installed incorrectly or if sediment accumulation is not removed.

STORM DRAIN INLET PROTECTION
- FABRIC DROP



- When • When sediment laden stormwater requires treatment before entering a stormwater drainage system.
- Why • To prevent sediment from entering stormwater systems.
- Where •
- How
1. Use in or at stormwater inlets, especially at construction sites 1. or in streets.
 2. Replace grate, which will hold bag in place.
 3. Anchor filter fabric bag with 1" rebar for removal from inlet.
 4. Flaps of bag that extend beyond the bag can be buried in soil in earth areas.

Maintenance • Drop inlet filters should be inspected routinely and after each major rain event.

• Damaged filter bags should be replaced.

• Clean and/or replace filter bag when 1/2 full.

• Replace clogged fabric immediately.

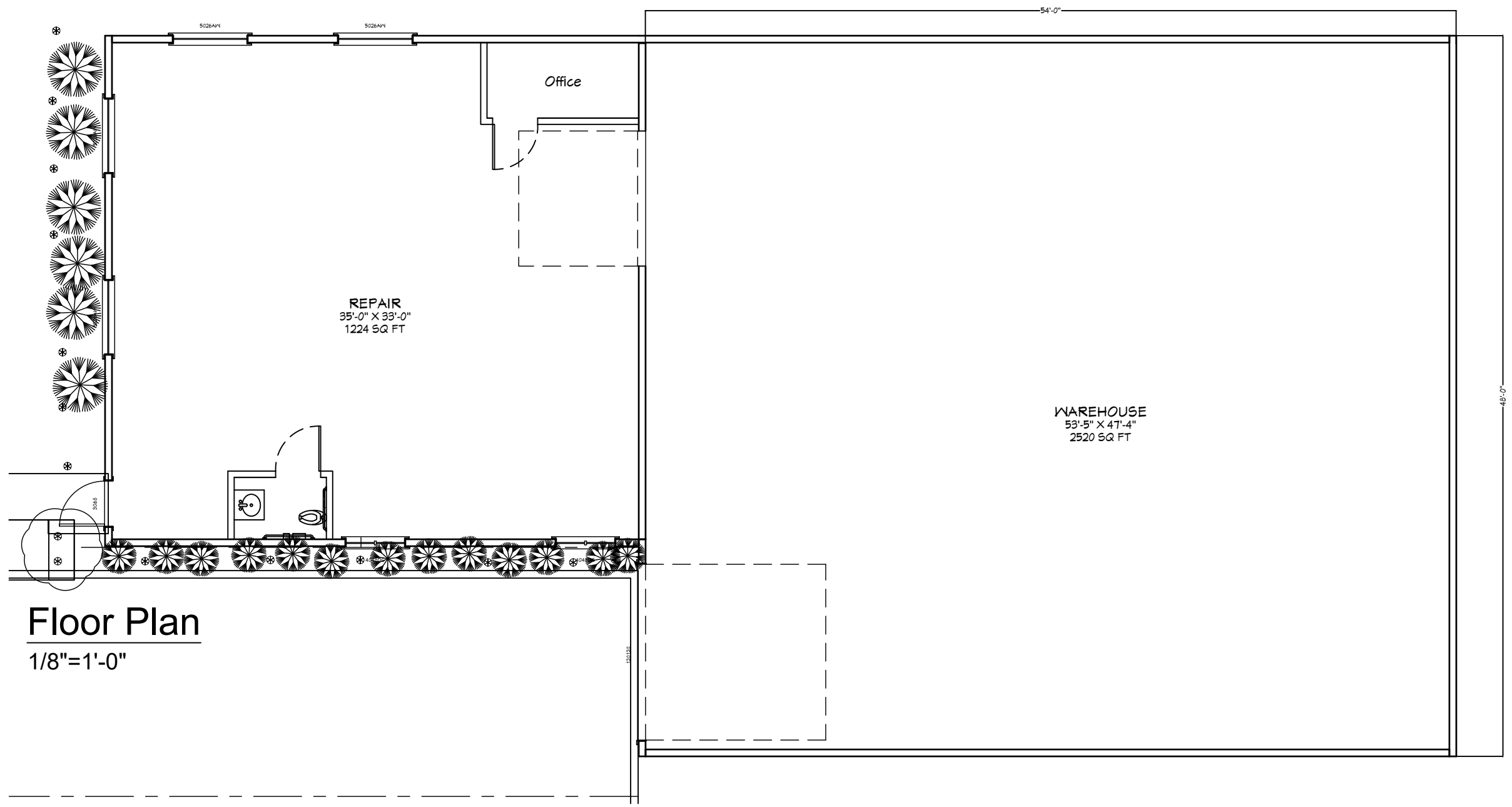
• If needed, initiate repairs immediately upon inspection.

• Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept.

Limitations • Can only accommodate small flow quantities.

• Requires frequent maintenance.

• Ponding may occur around storm drains if filter is clogged.



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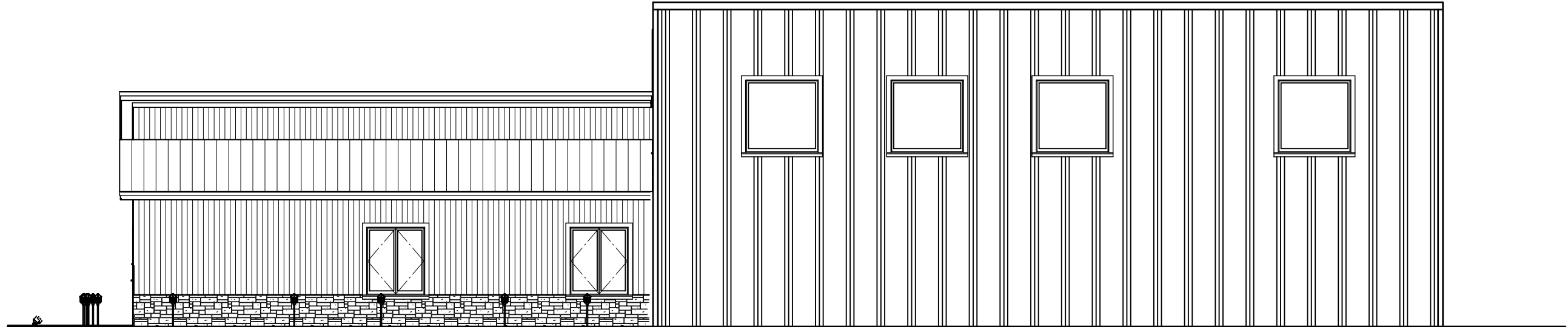
Project
BOH Services
1015 S. Washington
Owosso, Mi
48667

Drawing
Floor Plan

Scale
Varies

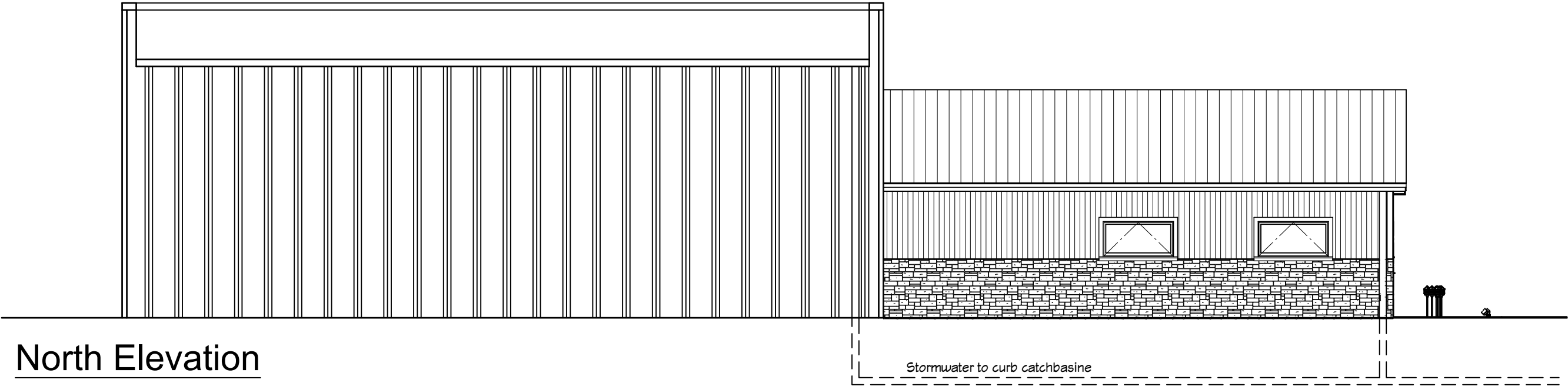
Date
12/17/2020

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South Elevation

1/8"=1'-0"



North Elevation

1/8"=1'-0"

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Project
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1015 S. Washington
Owosso, Mi
48667

Drawing
Elevations

Scale
Varies

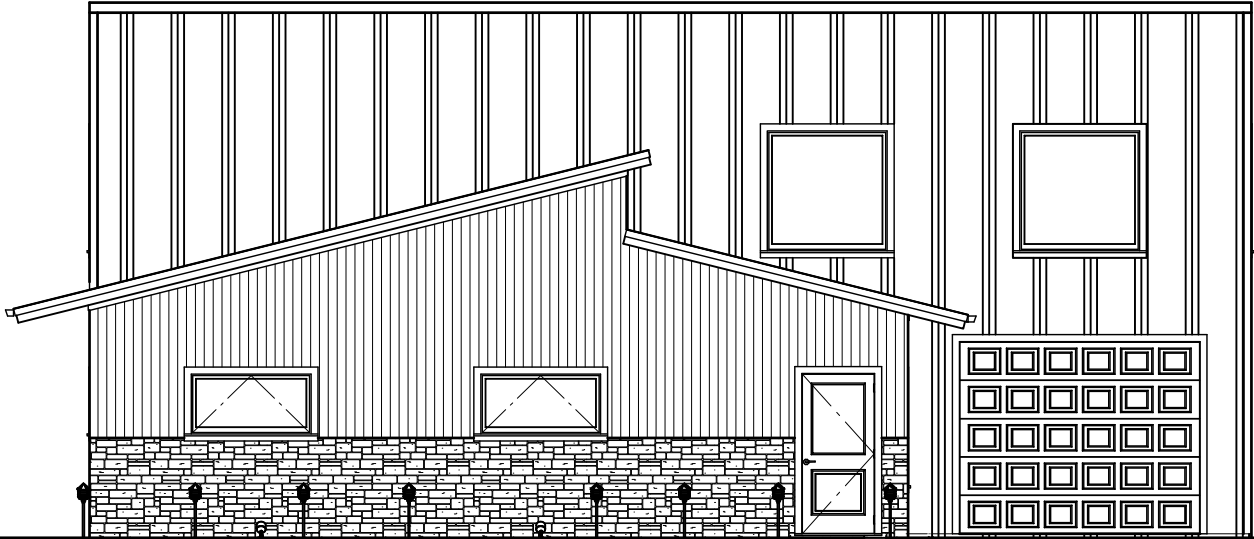
Date
12/17/2020

Sheet
A2
5 of 8

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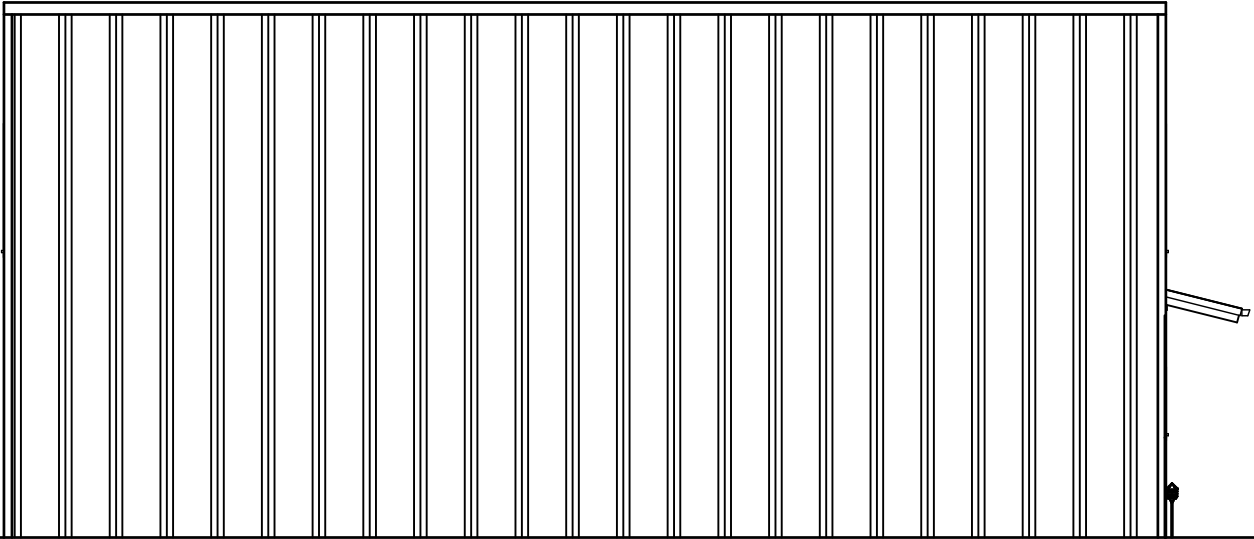
Project
BOH Services
1015 S. Washington
Owosso, Mi
48667

Drawing
Elevations



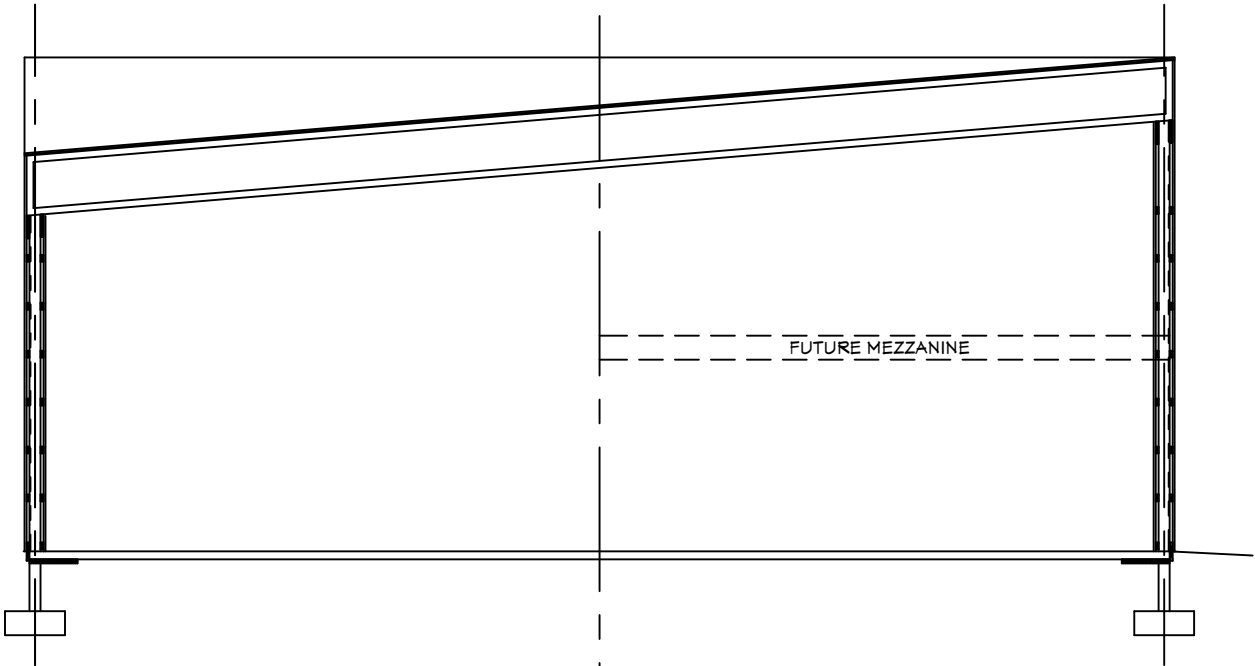
West Elevation

1/8"=1'-0"



East Elevation

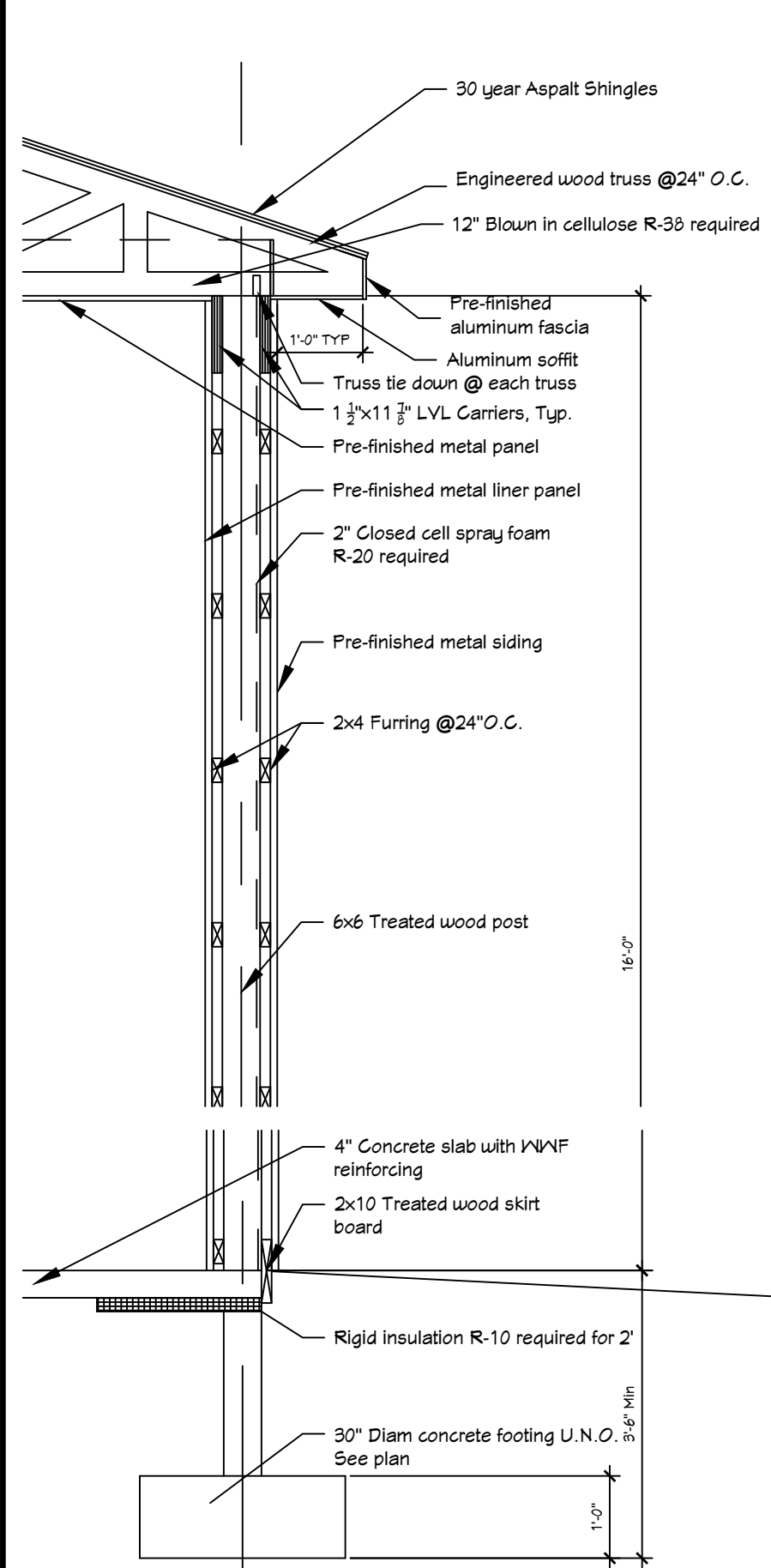
1/8"=1'-0"



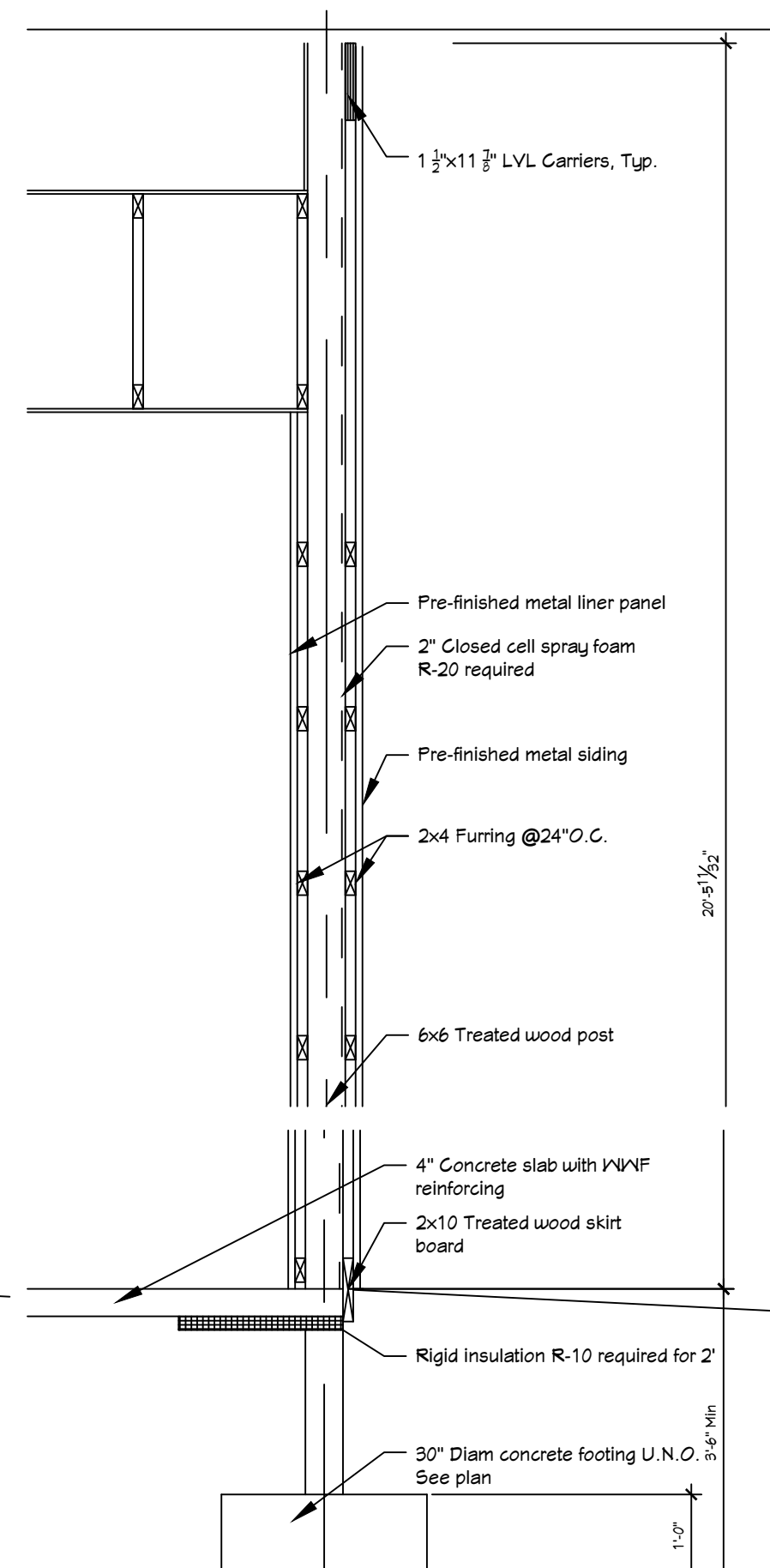
Building Section

1/8"=1'-0"

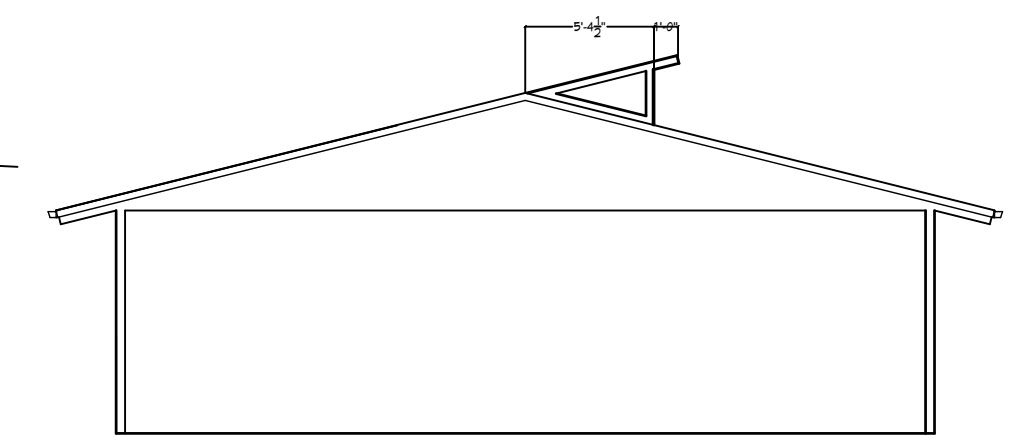
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12/17/2020
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Wall Section
1/2"=1'-0"



Wall Section
1/2"=1'-0"



Building Section
1/8"=1'-0"

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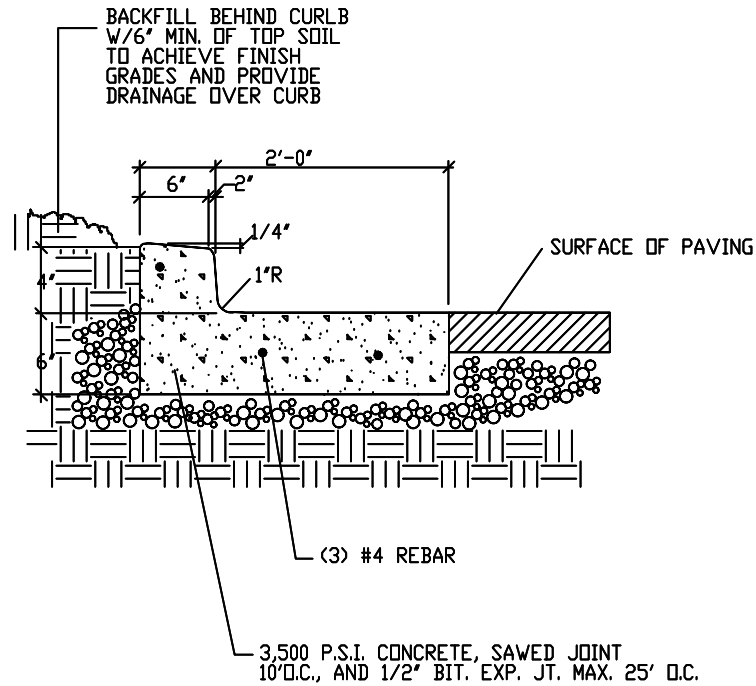
Drawing
Elevations

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Date
12/17/2020

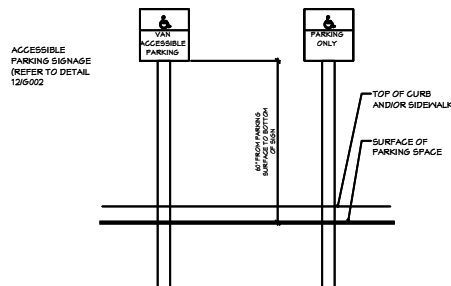
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CURB DETAIL

6' MOUNTABLE EXTRUDED CONCRETE CURB - DETAIL



- NOTE PARKING SPACE IDENTIFICATION SIGN SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY THAT COMPLES WITH THE 2010 ADAAG STANDARDS 103.2.1.
- SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE".
- LOCATE SIGN 50 AS NOT TO BE OBSCURED BY VEHICLE PARKED IN SPACE.
- REFER TO STATE AND LOCAL CODES FOR ADDITIONAL REQUIREMENTS, INCLUDING FINE INFORMATION.

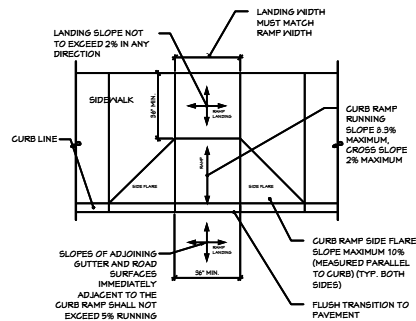
ACCESSIBLE PARKING SIGNAGE DETAIL

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL
1001 AND OVER	20, PLUS 1 FOR EACH 100 OR FRACTION THEREOF, OVER 1000

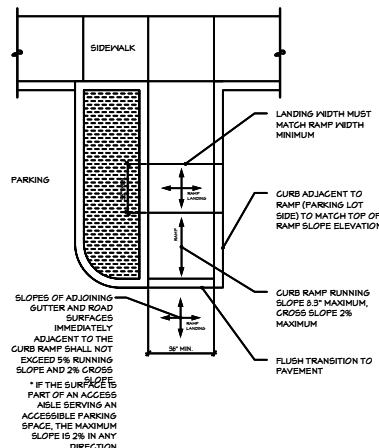
NOTE: FOR EVERY 6 OR FRACTION OF SIX ACCESSIBLE PARKING SPACES PROVIDED, ONE SHALL BE A VAN ACCESSIBLE PARKING SPACE.

- NOTES:
- DIMENSIONS OF PARKING SPACES AND ACCESS AISLES ARE MEASURED FROM THE CENTERLINE OF MARKING STRIPE.
 - PARKING SPACES FOR VANS, ACCESS AISLES, AND VEHICULAR ROUTES SERVING THEM SHALL HAVE A VERTICAL CLEARANCE OF 8' MINIMUM.
 - THE ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE THAT CONNECTS PARKING SPACES TO ACCESSIBLE ENTRANCES.
 - PARKING SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT CARS AND VANS, WHEN PARKED, CANNOT OBSTRUCT THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES.
 - REFER TO STATE AND LOCAL CODES FOR PAVEMENT MARKING REQUIREMENTS.

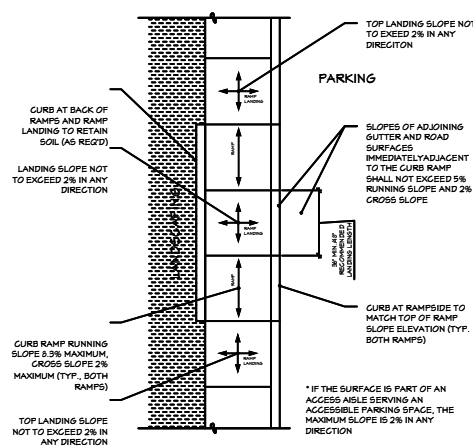
ACCESSIBLE PASSENGER DROP-OFF DETAIL



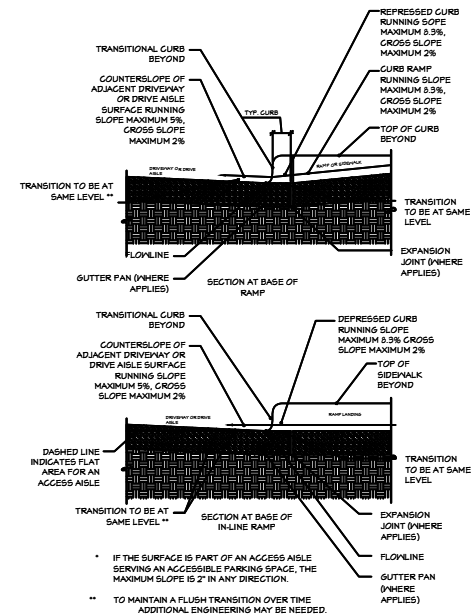
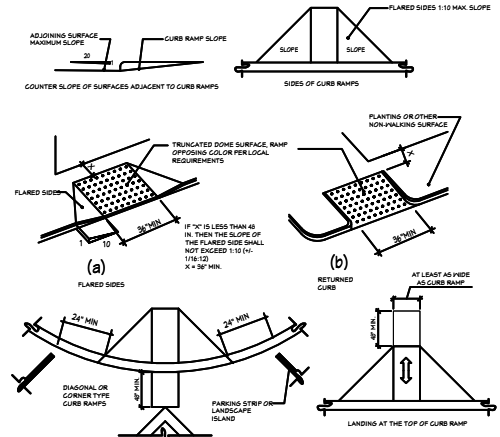
PERPENDICULAR CURB RAMP DETAIL



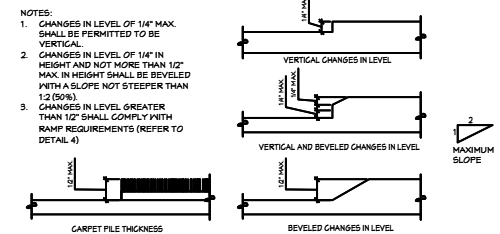
PERPENDICULAR CURB RAMP AT PARKING ISLAND DETAIL



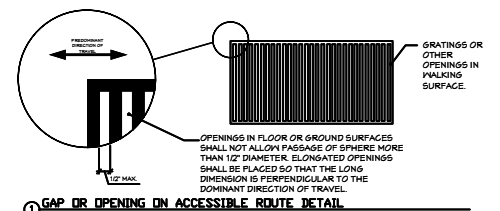
IN-LINE CURB RAMP DETAIL



BOTTOM OF CURB RAMP DETAIL



VERTICAL LEVEL CHANGE ON ACCESSIBLE ROUTE DETAIL



Scale

Varies

Date

04/21/2022

Sheet

ADA

8 of 8

May 18, 2022

Planning Commission
City of Owosso
301 W. Main Street
Owosso, Michigan 48867

Subject: 1015 S Washington Street Site Plan Review. Approximately .25 acres, located on the east side of S. Washington Street. Zoned B-4, General Business.

Attention: Ms. Tanya Buckelew, Planning and Building Director

Dear Planning Commissioners:

At your request, we have completed our review of the above site plan to add a 2,520 square foot warehouse to an existing building used for commercial purposes. The site development will include the the warehouse addition, add new parking spaces and paving a new driveway. The property is currently zoned B-4, General Business, where this use is a permitted land use.

The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and your own findings based on ordinance standards as part of your deliberation.

REVIEW COMMENTS

Section 36-390 of the City of Owosso Zoning Ordinance lists the submittal requirements for site plan review. Based on our review of the proposal, discussions with the Planning and Building Director, meetings with the applicant and a visit to the site, we offer the following comments for your consideration:

- 1. Information items.** The site plan meets the informational requirements of the ordinance.

2. Area and Bulk. The proposed site was reviewed in accordance with *Article 16, Schedule of Regulations*, as described in the following table.

	Required	Provided	Comments
701 S Chestnut State Street (I-1 Zoning)			
Front Yard Building Setback	15 ft.	- ft	In compliance, but not provided on plan
Side Yard Building Setback	-	10 ft	In compliance
Rear Yard Building Setback	10 ft.	10+ ft.	In compliance but not shown on plan
Maximum Building Height	35 ft.	- ft	Appears in compliance but not shown on plan

3. Building Design & Materials. The ordinance states that durable building materials which provide an attractive, quality appearance must be utilized. **The proposed building materials are acceptable for the B-4 District**

4. Building Height. **The proposed building plan does not show the maximum building height and must be shown on the plan to demonstrate compliance.**

5. Mechanical Units. No new mechanical units are proposed on the plan.

6. Dumpster. **The site plan does not identify a dumpster location or any required screening. If a dumpster is proposed, the location and screening and truck circulation routes must be shown on the plan.**

7. Parking Lot Requirements. **The proposed expansion will require a total of 5 spaces and 6 have been provided, however none of the proposed spaces are shown as barrier free. At least one space should be dedicated to barrier free access.**

8. Landscaping. **It does not appear that any new landscaping is proposed.**

9. Buffering. Per Section 38.389, a buffering wall of durable and high-quality materials is required along the property line separating the industrial district from the residential district. **The site plan does not show any type of buffering wall or fence or a landscaped alternate screening type which is required along the eastern property line where the property is abutting residential**

10. Lighting. The site plan does not indicate any proposed lighting. **It is noted that all new lighting should be shielded and fixed at 90-degree angles toward the ground, not at a 45 degree or other degree angle from the pole or building.**

11. Other Approvals. The proposed site plan must be reviewed and approved by the appropriate city departments, consultants, and agencies.

RECOMMENDATION

Based upon the above comments, **we recommend approval of the 1015 S Washington Street Site Plan, conditioned upon the following:**

1. An updated site plan with all dimensions shown on the plan including exact setback distances and building height;
2. Identification of proposed dumpster location, screening and truck routes for unloading the dumpster if one is proposed;
3. Dedication of one parking space for barrier free use;
4. Addition of a screening wall, fence or Planning Commission approved landscaping materials to satisfy buffering requirements of the Zoning Ordinance;
5. Clarification if any new landscaping is proposed;
6. That all light fixtures are fixed in a 90 degree to the ground, downward facing position; and
7. Final administrative review and approval of the updated site plan by the appropriate city departments, consultants, and agencies.

If you have any further questions, please contact us at 810-734-0000.

Sincerely,

CIB Planning



Justin Sprague
Vice President