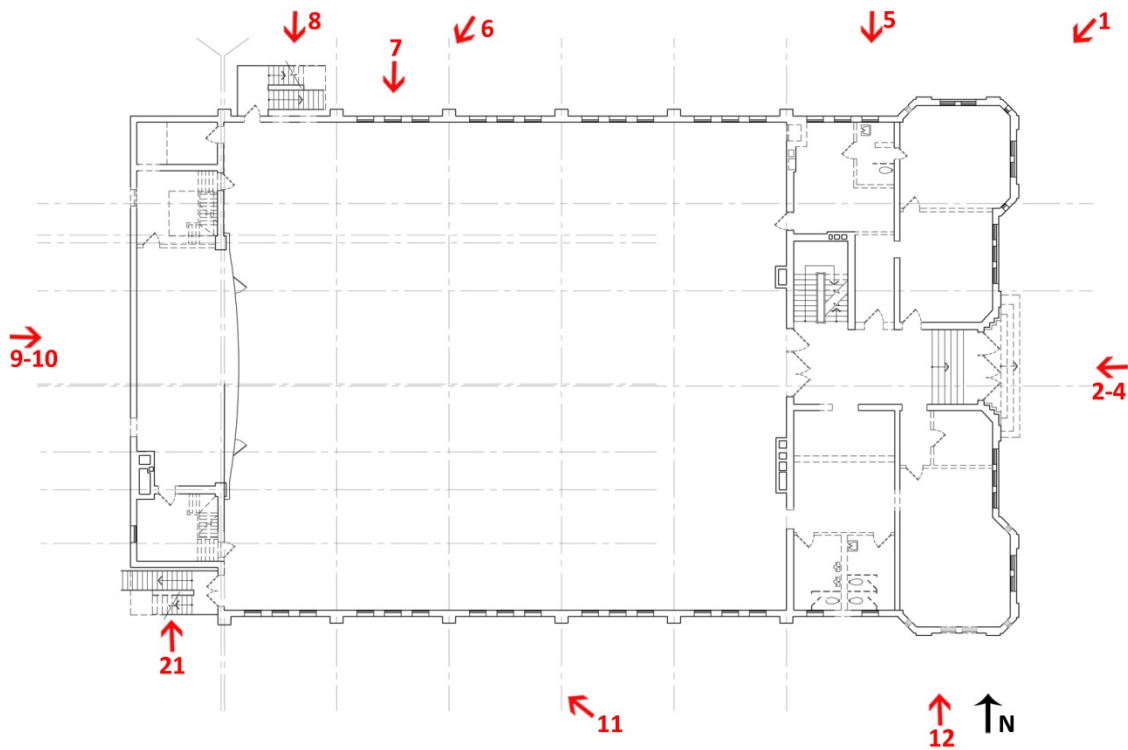
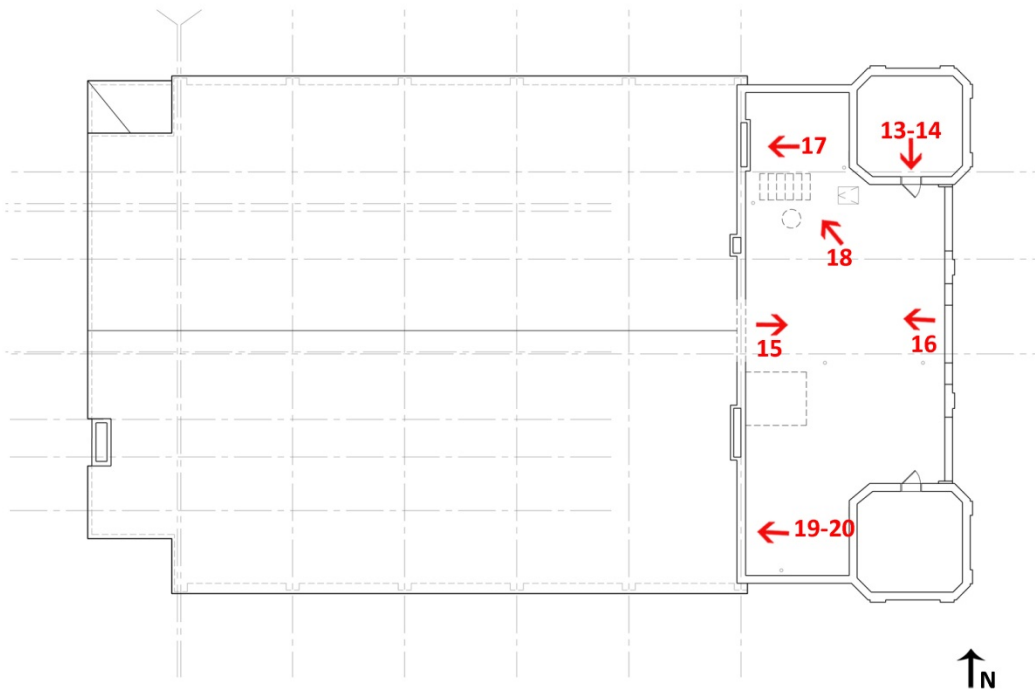


Historic District Commission Application for a Certificate of Appropriateness



First Floor Photomap



Roof Photomap

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #1: East Elevation, looking south west. 8/8/13.



Figure #2: East Elevation, looking west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic District Commission Application for a Certificate of Appropriateness



Figure #3: East Elevation, looking west. 8/8/13.



Figure #4: East Elevation, looking west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic District Commission Application for a Certificate of Appropriateness



Figure #5: North Elevation, looking south. 8/8/13.



Figure #6: North Elevation, looking south west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #7: North Elevation, looking south. 8/8/13.



Figure #8: North Elevation Exterior Egress Stair, looking south. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #9: West Elevation, looking east. 8/8/13.



Figure #10: West Elevation, looking east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #11: South Elevation, looking north east. 8/8/13.



Figure #12: South Elevation, looking north. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic District Commission Application for a Certificate of Appropriateness



Figure #13: Administration Section Roof, looking south. 8/8/13.



Figure #14: Administration Section Roof, looking south. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic District Commission Application for a Certificate of Appropriateness



Figure #15: Administration Section Roof, looking east. 8/29/13.



Figure #16: Administration Section Roof, looking west. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #17: Administration Section Roof, looking west. 8/29/13.



Figure #18: Administration Section Roof, looking north. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #19: Drill Deck Roof, looking west. 8/29/13.



Figure #20: Drill Deck Roof, looking west. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #21: South Elevation Exterior Egress Stair, looking north. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2011

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE

NPS Project Number

Instructions: This page of the form must appear exactly as below and must bear the owner's original signature. Other sections may be expanded as needed or continued on blank pages. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name Owosso Michigan National Guard Armory Building

Street 201 North Water Street

City Owosso County Shiawassee State MI Zip 48867

Name of Historic District _____

☐ National Register district ☐ certified state or local district ☒ potential district

2. Nature of request (check only one box)

- ☐ certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- ☐ certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- ☐ certification that the building does not contribute to the significance of the above-named district.
- ☐ preliminary determination for individual listing in the National Register.
- ☒ preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- ☐ preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project contact (if different from Owner)

Name Brian Rebain, Kraemer Design Group

Street 1420 Broadway

City Detroit

State MI

Zip 48226

Telephone (313) 965-3399 x 215

4. Owner

I hereby attest that the information I have provided is, to the best of my knowledge, correct and that I own the property described above. I understand that falsification of factual representations in this application is subject to criminal sanctions of up to \$10,000 in fines or imprisonment for up to five years pursuant to 18 USC 1001.

Name Mr. Jeff Deason

Signature [Signature]

Date 8/29/13

Organization Chamber Support Corporation

Social Security OR Taxpayer ID Number _____

Street 215 N. Water Street

City Owosso

State MI

Zip 48867

Telephone (989) 723-5149

NPS Official Use Only

The National Park Service has reviewed the Historic Certification Application – Part 1 for the above-named property and has determined that the property:

- ☐ contributes to the significance of the above-named district (or National Register property) and is a "certified historic structure" for rehabilitation purposes.
- ☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- ☐ does not contribute to the significance of the above-named district.

Preliminary Determinations:

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- ☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- ☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- ☐ appears to contribute to the significance of a registered historic district but is outside the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS.
- ☐ does not appear to qualify as a certified historic structure.

Date _____

National Park Service Authorized Signature _____

☐ See Attachments

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE

Property name Owosso Michigan National Guard Armory NPS Project Number _____
Property address 201 North Water Street, Lansing, MI

5. Description of physical appearance

The Owosso Armory is rectangular in plan, with the administration section of the structure parallel to North Water Road, and the drill hall perpendicular behind. Faced with a smooth-finish red brick, the front facade is two and one-half stories tall and features a crenelated parapet. The front facade is divided into five bays by piers and pairs of tall narrow windows. Contrasting stone has been used as a belt course at the water table level along the top of the parapet and also as sills and lintels. The center bay, which is wider and more heavily ornamented than the others, includes the front entrance. A corbelled, segmental arch of stone creates the door opening. At the second story are double-hung windows accentuated with stone, and below the parapets, centered over the entrance is a stone plaque with carved with the word "Armory." A cornerstone at the northeast of the entrance is carved with the year 1915.

The drill hall portion of the building is a one and one-half story structure, with a gable-front roof. The peak of the front gable is visible above the parapets when viewing the building from a distance. Windows are set in groups of three, and establish the five-bay length of the drill hall. Brick piers between each group of windows further emphasize each bay.

The west facade (river facade) is mainly comprised of running-bond brick, although a row of bricked-in windows is visible at the building's base. A stairwell leading to a below-grade door is located at the north facade's western side, and a one-story, hipped roof structure is at the northwest corner.

On the interior of the drill hall, balcony arms run along the north and south sides overlooking the stage. A former swimming pool in the basement has been filled and the area is now continuous floor space.

Date of construction 1915 Source of date Armory building's cornerstone
Date(s) of alteration(s) _____ Source of date _____
Has building been moved? ☒ no ☐ yes, specify date _____

6. Statement of significance

The Owosso Michigan National Guard Armory was constructed in 1915, part of the armory building boom related to the establishment of the Armory Building Fund in 1909. The armory was used by the National Guard until it closed, and the drill hall was also used for local theater productions, comedy shows, dances and wedding receptions.

In 1870, Michigan officially organized volunteer militia companies under the establishment of the Michigan State Troops. By 1876, twenty-four companies had been organized. In 1891 the Michigan State Troops was renamed the Michigan National Guard. In 1909 state legislation titled The Armory Building Fund was passed, providing for payment for attendance of the National Guard, as well as the construction of armories.

The current armory replaced a previous armory, constructed in 1893 at a different location. After just seventeen years of use, when the new armory fund was available, officials were planning for a new Owosso Armory. By 1914 the funding was approved by the state and county. The site of the current armory, on the banks of the Shiawassee River was previously the site of a mill, butter company and a poultry farm. The architect of the Owosso Armory was Edwin A. Bowd of Lansing. The general contractor was the Rickman Construction Company of Kalamazoo.

From the Owosso Armory, during World War I, Company M sailed for France on February 7, 1918 to take part in the Battle of Argonne-Seuse. These soldiers were among the first American troops to set foot on German soil during the war.

In later years, the armory served as a community center offering classes in the gymnasium and swimming pool. The Board of Directors included many of Owosso's business leaders of the time. In the mid-century, the armory was the home of the 144th National Guard unit. In 1969 the armory was slated for demolition and the Shiawassee Chamber of Commerce was constructed directly in front of the armory that year. The Armory has been vacant since 2008.

7. Photographs and maps. Send photographs and map with application.

Historic Preservation Certification Application – Part 2



Figure #X: East Elevation, looking south west. 8/8/13.



Figure #X: East Elevation, looking west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: East Elevation, looking west. 8/8/13.



Figure #X: East Elevation, looking west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: North Elevation, looking south. 8/8/13.



Figure #X: North Elevation, looking south west. 8/8/13.

Owosso Michigan National Guard Armory Building 201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: North Elevation, looking south. 8/8/13.



Figure #X: North Elevation Exterior Egress Stair, looking south. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: West Elevation, looking east. 8/8/13.



Figure #X: West Elevation, looking east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: South Elevation, looking north east. 8/8/13.



Figure #X: South Elevation, looking north. 8/8/13.

Owosso Michigan National Guard Armory Building 201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Administration Section Roof, looking south. 8/8/13.



Figure #X: Administration Section Roof, looking south. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Administration Section Roof, looking east. 8/29/13.



Figure #X: Administration Section Roof, looking west. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Administration Section Roof, looking west. 8/29/13.



Figure #X: Administration Section Roof, looking north. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Drill Deck Roof, looking west. 8/29/13.



Figure #X: Drill Deck Roof, looking west. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #X: South Elevation Exterior Egress Stair, looking north. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Main Stairs, First Floor to Basement, looking south. 8/8/13.

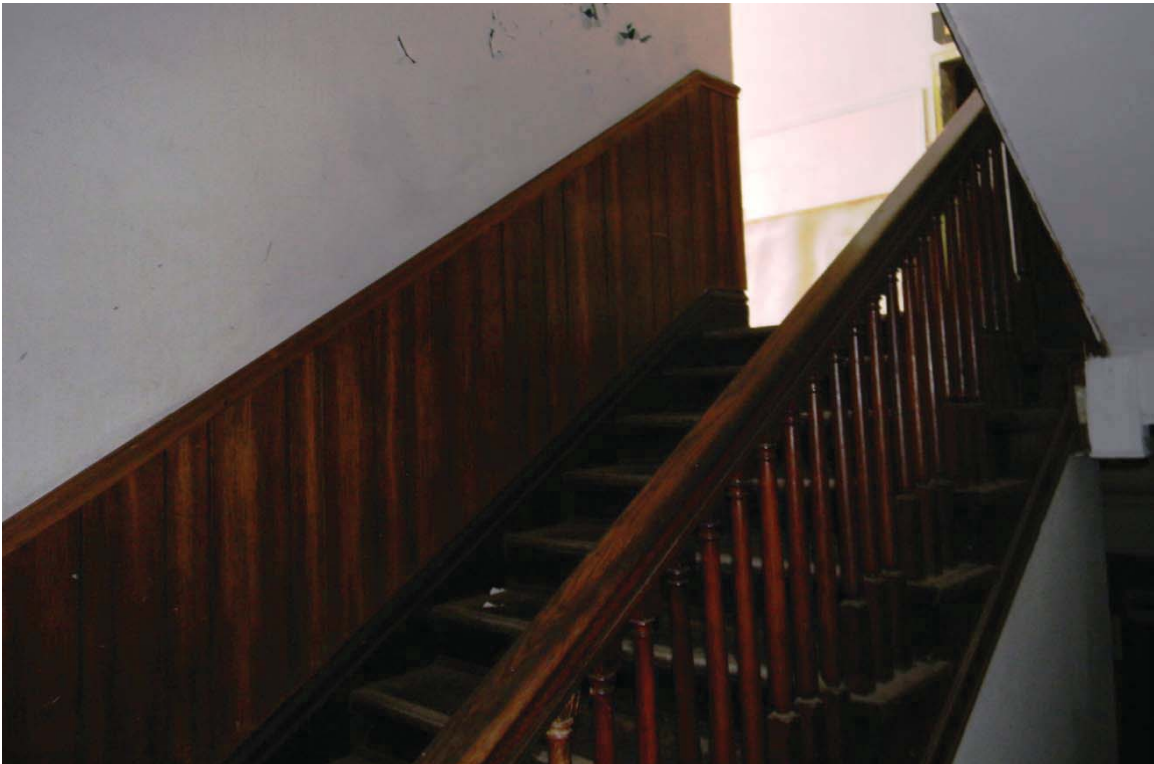


Figure #X: Main Stairs, Basement to First Floor, looking south east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #X: Basement Stairs, looking west. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

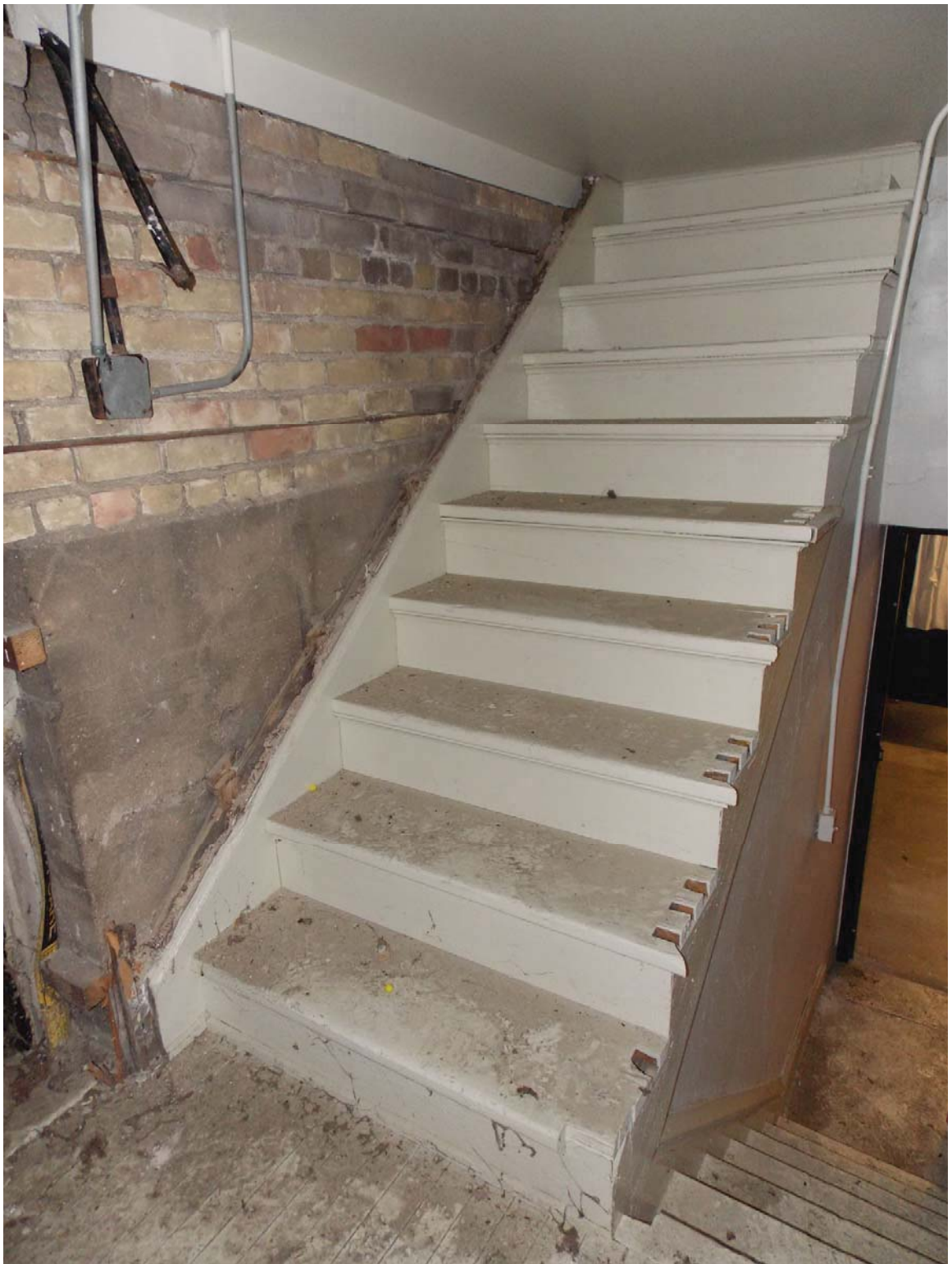


Figure #X: Basement Stairs, looking east. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Main Entry Stairs, looking south east. 8/8/13.



Figure #X: First Floor Stage Stairs, looking east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

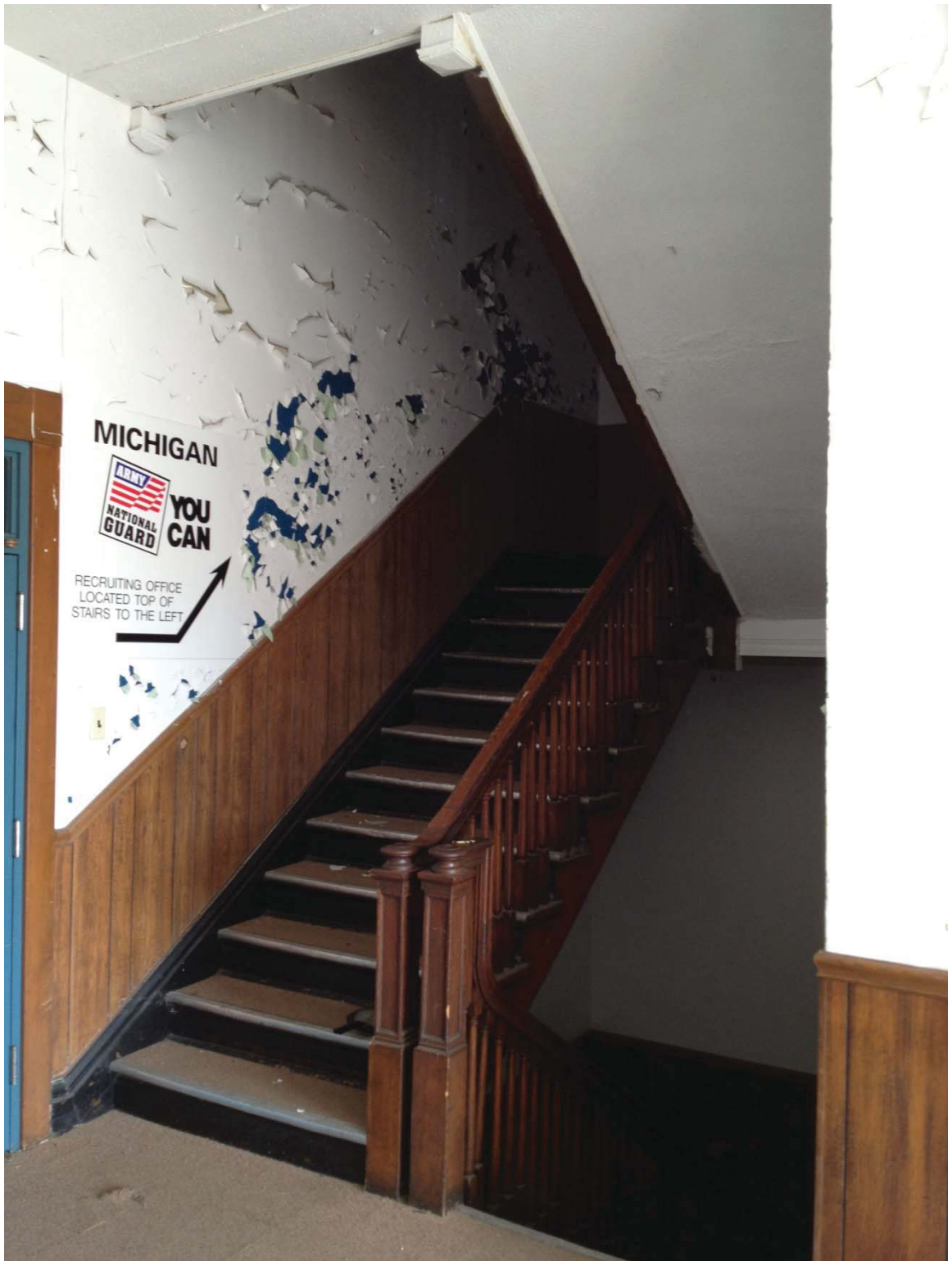


Figure #X: First Floor Main Stairs, looking north west. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #X: First Floor Main Stairs, looking south. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #X: First Floor Stage Stairs, looking west. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #X: First Floor Stage Stairs, looking west. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Second Floor Main Stair, looking north east. 8/8/13.

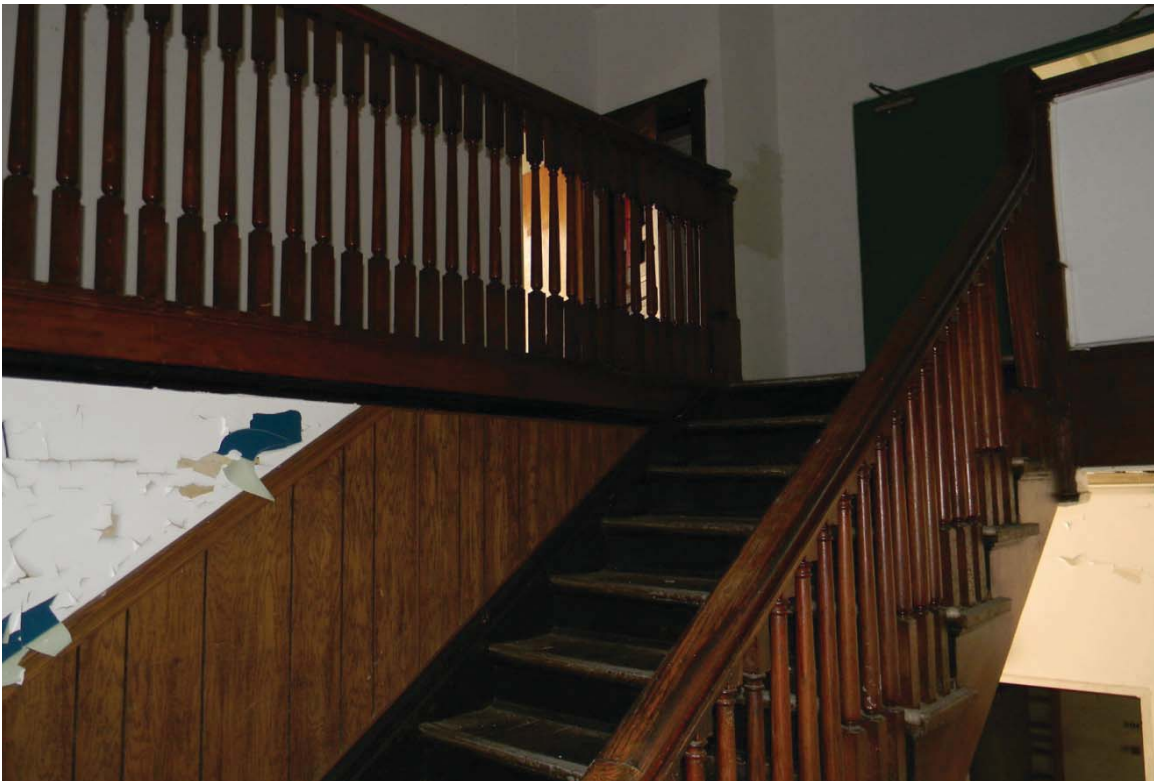


Figure #X: Second Floor Main Stair, looking south east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor Stage Stairs, looking east. 8/29/13.

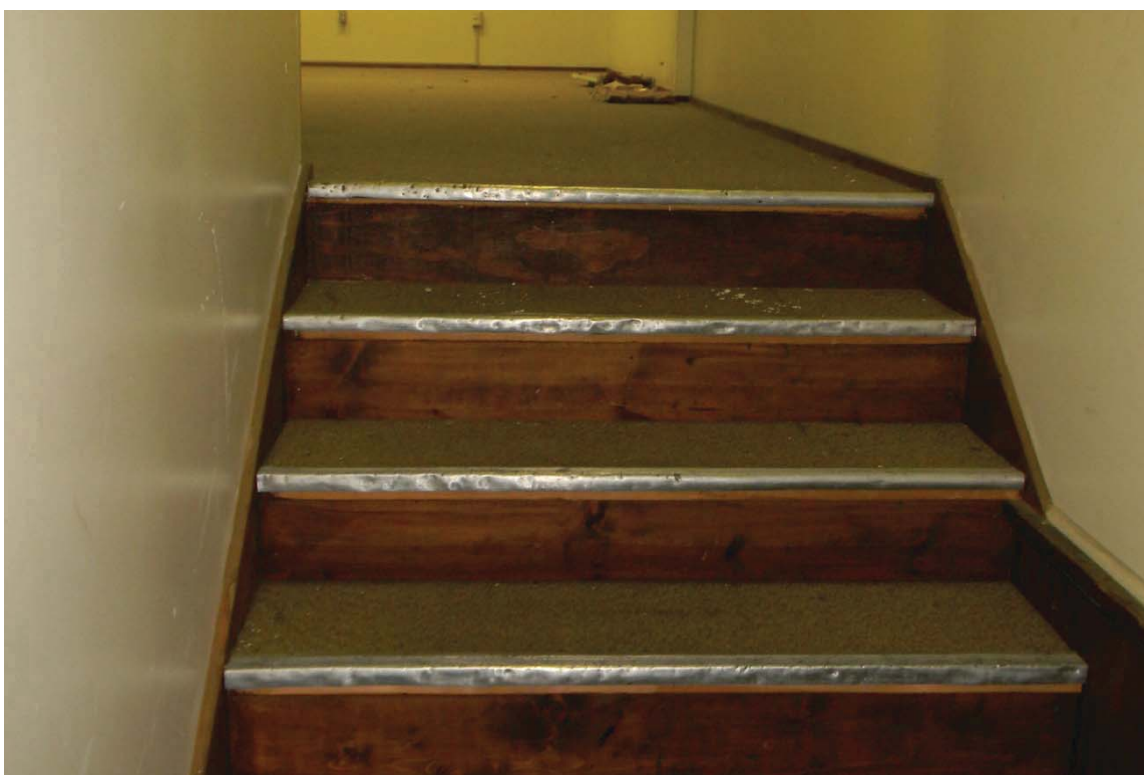


Figure #X: Second Floor Mezzanine Stair, looking north. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #X: Second Floor Mezzanine Stairs, looking south. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2

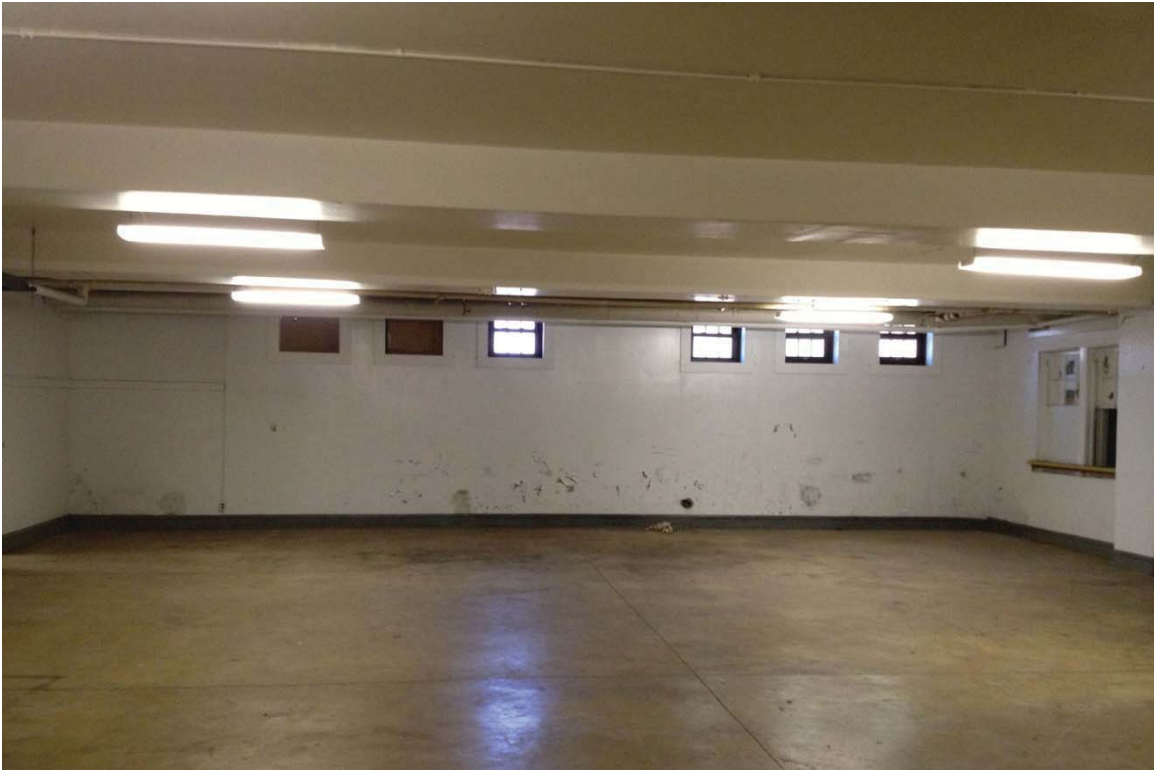


Figure #X: Ground Floor, looking north. 8/8/13.



Figure #X: Ground Floor, looking south west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Ground Floor, looking north west. 8/8/13.



Figure #X: Ground Floor, Infilled Pool, looking south west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Ground Floor, Infilled Pool, looking south. 8/29/13.



Figure #X: Ground Floor, Infilled Pool, looking south. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Ground Floor, looking south. 8/29/13.



Figure #X: Ground Floor, looking south. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Ground Floor, looking south. 8/29/13.



Figure #X: Ground Floor, looking south. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Ground Floor, looking south. 8/29/13.



Figure #X: Ground Floor, looking south. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Main Entry Doors, looking east. 8/8/13.



Figure #X: First Floor, Drill Deck Entry, looking west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Drill Deck, looking east. 8/8/13.

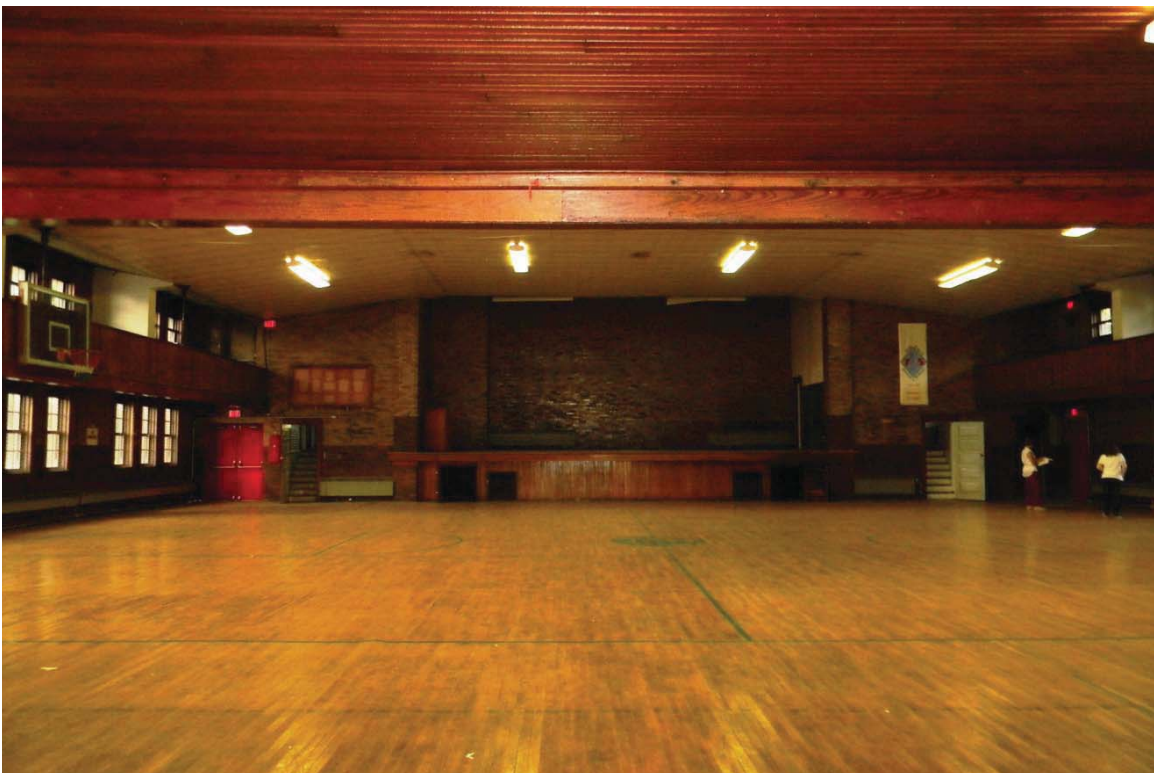


Figure #X: First Floor, Drill Deck, looking west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Drill Deck, looking south west. 8/8/13.



Figure #X: First Floor, Drill Deck, looking south east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Drill Deck, looking north west. 8/8/13.



Figure #X: First Floor, Drill Deck, looking north east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Drill Deck Floor. 8/8/13.



Figure #X: First Floor, Drill Deck Mezzanine. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Drill Deck from Mezzanine, looking north east. 8/8/13.



Figure #X: First Floor, Drill Deck from Mezzanine, looking north west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Drill Deck, Exterior Egress Stair Door, looking north west. 8/8/13.

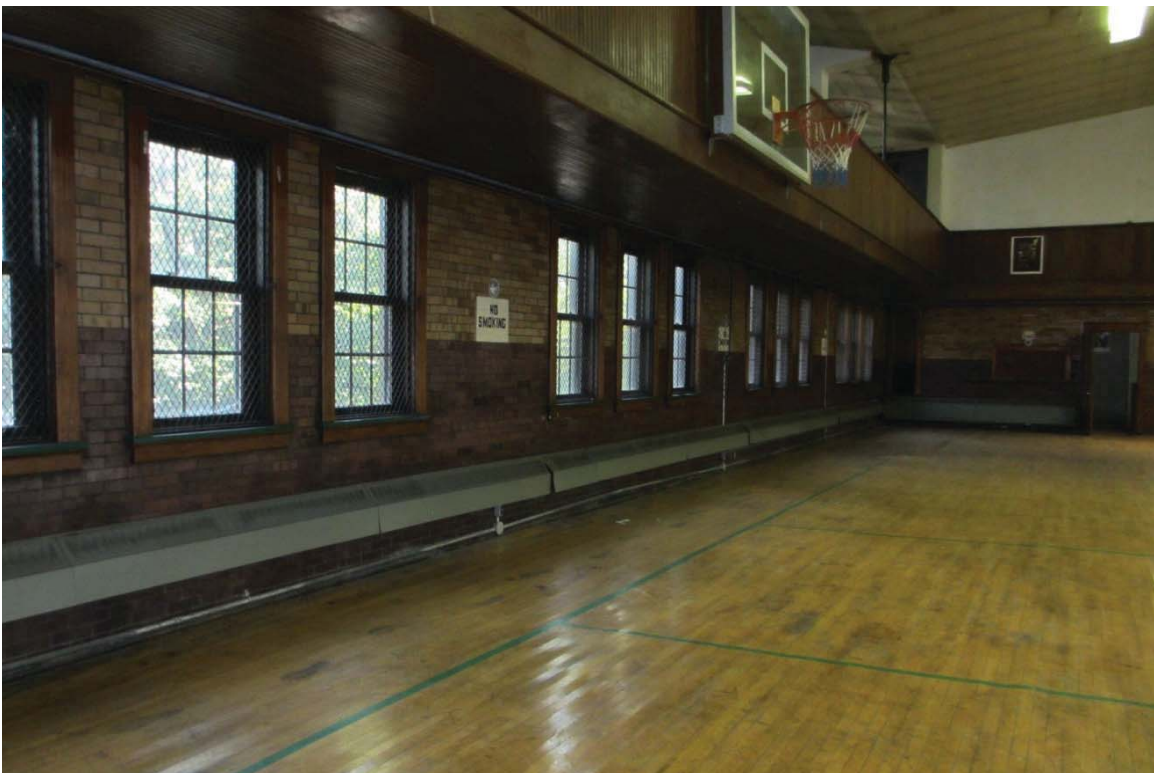


Figure #X: First Floor, Drill Deck, looking east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Exterior Egress Stair Doors, looking west. 8/8/13.



Figure #X: First Floor, Drill Deck Stage, looking west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Administrative Section, looking north east. 8/8/13.



Figure #X: First Floor, Administrative Section, looking north. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Administrative Section, looking south west. 8/8/13.



Figure #X: First Floor, Administrative Section, looking north west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Administrative Section, looking north east. 8/8/13.



Figure #X: First Floor, Administrative Section, looking east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Administrative Section, looking east. 8/8/13.



Figure #X: First Floor, Administrative Section, looking south. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Administrative Section, looking south east. 8/8/13.

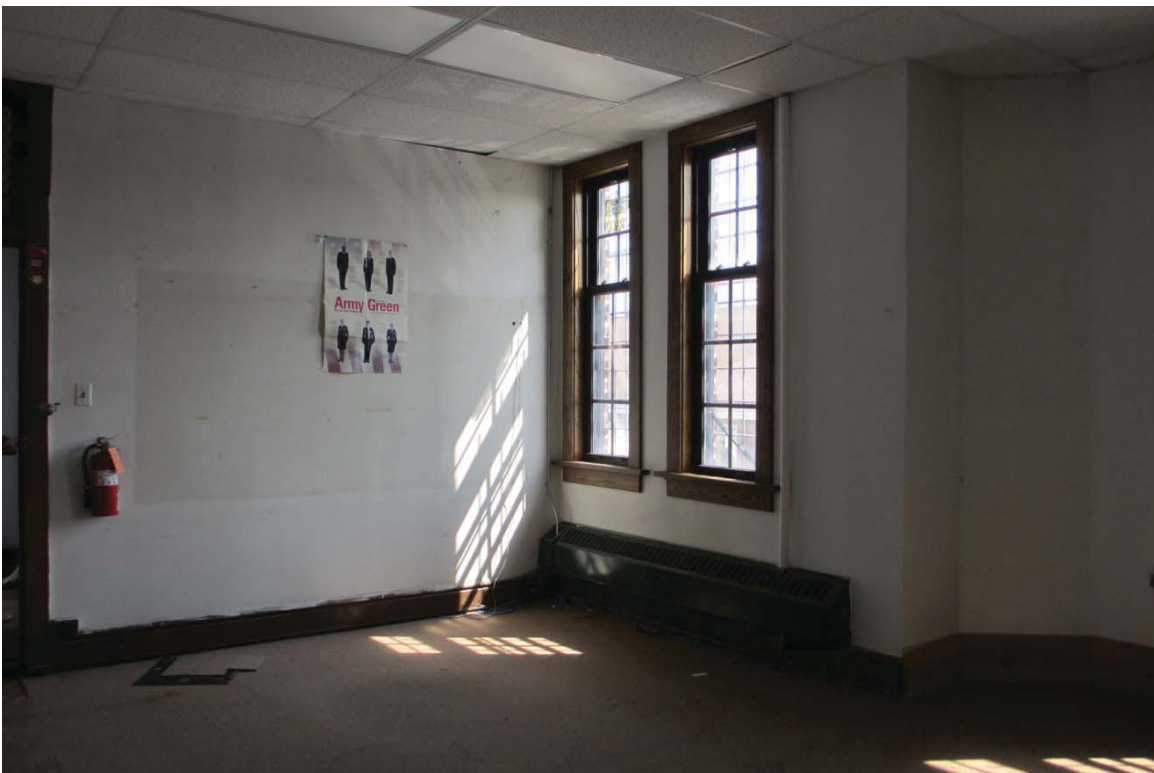


Figure #X: First Floor, Administrative Section, looking north east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: First Floor, Stage Area, looking north west. 8/8/13.



Figure #X: First Floor, Stage Area, looking north. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

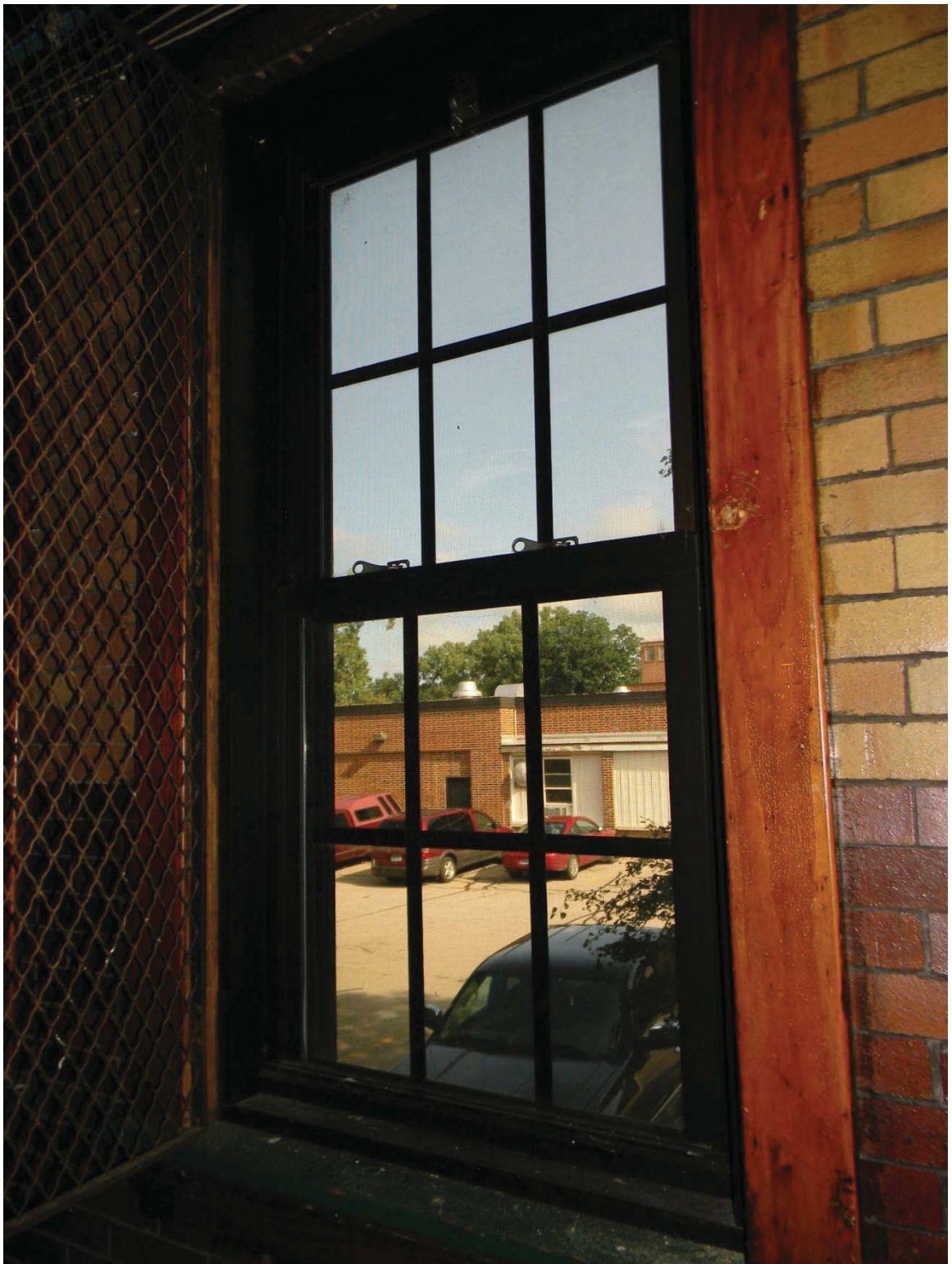


Figure #X: First Floor, Drill Deck Window, looking north. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Second Floor, looking east. 8/8/13.



Figure #X: Second Floor, looking north east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Second Floor, looking south. 8/8/13.



Figure #X: Second Floor, looking north east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Second Floor, Roof Access Hatch. 8/8/13.



Figure #X: Second Floor, Skylight. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Second Floor, looking west. 8/8/13.



Figure #X: Second Floor, looking east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Second Floor, looking north west. 8/8/13.



Figure #X: Second Floor, looking south. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Second Floor, looking south east. 8/8/13.



Figure #X: Second Floor, Steel Truss, looking west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Second Floor, looking south east. 8/8/13.



Figure #X: Drill Deck, Mezzanine, looking west. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Drill Deck, Mezzanine, looking west. 8/8/13.



Figure #X: Drill Deck, Mezzanine, looking east. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI

Historic Preservation Certification Application – Part 2



Figure #X: Second Floor, looking south. 8/29/13.



Figure #X: Mezzanine, looking south east. 8/29/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



Figure #X: Second Floor, looking south. 8/8/13.

Owosso Michigan National Guard Armory Building
201 North Water Street, Owosso, MI



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2011

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

NPS Project Number

Instructions: This page of the form must appear exactly as below and must bear the owner's original signature. Other sections may be expanded as needed or continued on blank pages. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. **Property Name** Owosso Michigan National Guard Armory Building
Street 201 North Water Street
City Owosso County Shiawassee State MI Zip 48867
Name of Historic District: _____
☐ Listed individually in the National Register of Historic Places; date of listing _____
☐ Located in a Registered Historic District; name of district _____
☒ Part 1 – Evaluation of Significance submitted? Date submitted 8-29-13 Date of certification _____

2. **Data on building and rehabilitation project**
Date of construction 1915 Cost of rehabilitation (estimated) \$3,000,000
Type of construction Brick masonry, wood, and steel Floor area before / after rehabilitation 26,700 sq ft / 27,100 sq ft
Start date (estimated) January 2014 Uses before / after rehabilitation Vacant / Office
Completion date (estimated) December, 2015 Number of housing units before / after rehabilitation 0 / 0
This application covers phase number 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 0 / 0

3. **Project contact (if different from Owner)**
Name Laura Mann, Kraemer Design Group, PLC
Street 1420 Broadway City Detroit
State MI Zip 48226 Telephone (313) 965-3399 x 223

4. **Owner**
I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above. I understand that falsification of factual representations in this application is subject to criminal sanctions of up to \$10,000 in fines or imprisonment for up to five years pursuant to 18 USC 1001.
Name Mr. Ryan Henry Signature _____ Date _____
Organization Chamber Support Corporation Social Security or Taxpayer ID Number _____
Street 215 N. Water Street City Owosso
State MI Zip 48867 Telephone (989) 723-5149

NPS Official Use Only

The National Park Service has reviewed the Historic Certification Application – Part 2 for the above-named property and has determined that :

- ☐ the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
☐ the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
☐ the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date

National Park Service Authorized Signature

☐ See Attachments

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 2 – DESCRIPTION OF REHABILITATION

Property Name Owosso Michigan National Guard Armory NPS Project Number _____

Property Address 201 North Water Street

5. Detailed description of rehabilitation work Reproduce this page as needed to describe all work or create a comparable format with this information. Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number	Feature <u>Building Overview</u>	Date of Feature <u>1915</u>
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Describe existing feature and its condition

The Owosso Michigan National Guard Armory was built in 1915. The building is split into two sections, a two-story Administration Building at the front (East Elevation) of the building and an open Drill Deck at the rear (West Elevation). The Administration Building has turrets at its NE and SE corners. A crenelated masonry parapet of varying heights extends around the remainder of the Administration Building's flat roof. The tip of the front gable over the Drill Deck is visible over the parapets from grade at a distance. The gable is also visible at the rear of the building from grade.

The building has four distinct levels – a Ground Floor, 1st Floor, Mezzanine, and 2nd Floor. The ground floor level spans the entire footprint of the building, and is largely set half underground with windows looking out at grade. The 1st floor is set a half story up from grade. The Mezzanines, located along the north and south facades of the building, are open to the Drill Deck floor, and are currently accessed from the 2nd floor only. The second floor spans between the Administration portion of the building and extends out and over a small portion of the Drill Deck. The Drill Deck floor is partially covered by the 2nd floor and Mezzanine. The remainder is open to an acoustic ceiling attached to the bottom chord of the large gable roof trusses above. There is a stage at the East end of the space. The peak of the front gable is visible above the parapets when viewing the building from a distance. The administration section has a flat roof with a crenelated parapet and is located in front of the Drill Deck, on the East side of the building. The ground slopes steeply from the front of the building toward the river, so the ground level at the West Elevation is at the Ground Floor level and the ground level at the East Elevation is near the 1st Floor level.

The primary façade is along N. Water St. (East Elevation).

The secondary façades are adjacent to a parking lot (South Elevation), middle school (North Elevation), and the river (West Elevation).

Photo numbers _____ Drawing numbers AD101, AD102, A101, A102

Describe work and impact on feature

Generally the building is in good condition and will be rehabilitated. Individual items and work are described below.

Number	Feature <u>Exterior - Site</u>	Date of Feature <u>Unknown</u>
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Describe existing feature and its condition

The site surrounding the Owosso Michigan National Guard Armory consists of a circular drive connecting the East Elevation to N. Water St. and a sidewalk adjacent to the building on the north side. The Shiawassee Chamber of Commerce building is located between the East Elevation and N. Water St. A paved River Walk runs along the West Elevation.

Photo numbers _____ Drawing numbers AD101, AD102, A101, A102, C03, C05

Describe work and impact on feature

The Shiawassee Chamber of Commerce building will be removed and salvaged. The building will be relocated to the parking lot adjacent to the South Elevation to recreate the approach to the East Elevation along W. Exchange St at a later date as part of a future project. The area previously occupied by the Shiawassee Chamber of Commerce will be repurposed to an outdoor amphitheater with a sunken stage. An accessible sidewalk will be added to the South Elevation to create accessible access to the building at the Ground Floor. Shrubbery will be added along the West Elevation to prevent pedestrian access under the proposed balcony (see item #).

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 2 – DESCRIPTION OF REHABILITATION

Property Name Owosso Michigan National Guard Armory NPS Project Number _____

Property Address 201 North Water Street

5. Detailed description of rehabilitation work Reproduce this page as needed to describe all work or create a comparable format with this information. Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number	Feature <u>Exterior Brick</u>	Date of Feature <u>1915</u>
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Describe existing feature and its condition

The Owosso Michigan National Guard Armory is composed of load bearing brick walls from the foundation to the roof in the drill deck section, and from the foundation to the top of the parapet in the administration section. The brick is a red color on all façades. There are numerous old window and door openings on all façades that have been infilled. The brick appears to be in fair condition with some areas of spalling and cracking.

Photo numbers _____ Drawing numbers A201, A202, A203, A204

Describe work and impact on feature

All brick is to be inspected for damage. All damaged, deteriorating or spalling units are to be removed and replaced with new material to match original units. Missing units are to be replaced to match the remaining adjacent materials. New brick will match the existing as closely as possible in color, size, texture and compressive strength. Any salvaged brick will be reused where replacement brick is needed before new brick. Remaining brick is to be cleaned using the gentlest means possible to achieve acceptable results without damaging or substantially altering the physical characteristics of the masonry surfaces, in accordance with Preservation Brief #1: *Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings*. Specifications and test cleaning samples will be provided for review and approval prior to commencing work. Close-up photographs of the masonry before and after cleaning will be submitted with the Request for Certification of Completed Work.

Masonry will be repointed as needed and any loose or displaced units reset. No new damage will be done to the masonry. Re-pointed mortar will match the color, texture, compressive strength, joint width and joint profile of the existing historic masonry as much as possible. Raking out mortar joints shall not damage masonry units. Masonry re-pointing will be done in accordance with Preservation Brief 2: *Re-pointing Mortar Joints in Historic Masonry Buildings*. Specifications and repointing samples will be provided for review and approval prior to commencing work. Close-up photographs meeting historic standards of the masonry before and after re-pointing will be submitted with the Request for Certification of Completed Work.

Number	Feature <u>Exterior Limestone</u>	Date of Feature <u>1915</u>
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Describe existing feature and its condition

Limestone is used as a belt course at the water table level on all four façades, at the top of the parapet, and as sills and lintels. A corbelled, segmental arch of limestone creates the main entry opening. The limestone is flush with the surrounding brick in most locations. The limestone appears to be in good condition with few areas of spalling or cracking.

Photo numbers _____ Drawing numbers A201, A202

Describe work and impact on feature

All limestone is to be inspected for damage. All damaged, deteriorating or spalling units are to be repaired or, if necessary, removed and replaced with new material to match. Remaining limestone is to be cleaned using the gentlest means possible to achieve acceptable results. The cleaning process for the limestone will not damage or substantially alter the physical characteristics of the masonry surfaces.

Masonry will be repointed as needed, and any loose or displaced units will be reset. Re-pointed mortar will match the color, texture, strength, joint width and joint profile of the existing historic masonry. Raking out mortar joints shall not damage masonry units. Limestone re-pointing will be done in accordance with Preservation Brief 2: *Re-pointing Mortar Joints in Historic Masonry Buildings*.

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 2 – DESCRIPTION OF REHABILITATION

Property Name Owosso Michigan National Guard Armory NPS Project Number _____

Property Address 201 North Water Street

5. Detailed description of rehabilitation work Reproduce this page as needed to describe all work or create a comparable format with this information. Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number	Feature <u>Exterior Windows</u>	Date of Feature <u>1915, 1970 2000</u>
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Describe existing feature and its condition

All original windows were replaced or infilled in 1970 and the remaining windows were replaced by a previous owner in 2000 with modern aluminum Traco windows. The Traco windows are a black finish and are in good condition.

The East Elevation is divided into five bays by brick piers. The windows are all 10-lite aluminum single-hung windows in good condition. Several windows on the south side of the façade have an exterior metal grate, and several of the Ground Floor windows have an exterior mesh screen.

The North and South Elevations are divided into five bays of windows in the Drill Deck, and two bays of windows in the Administrative Section. The windows are in groups of three, separated by brick piers. The Ground Floor and 2nd Floor windows are single-hung 6-lite aluminum windows in good condition. The 1st Floor windows are single-hung 12-lite aluminum windows in good condition. The majority of the window openings on the Ground Floor have been infilled with brick.

The masonry wall at the East end of the Drill Deck once had a large round window that is now infilled.

Photo numbers _____ Drawing numbers A201, A202

Describe work and impact on feature

All existing windows are to remain. Previously infilled window locations are to be replaced with new aluminum units to match the appearance, size, design, proportions, profiles, and sightlines of the existing Traco windows to maintain a consistent appearance. The same model number and finish will be used as the existing replacement windows if possible. All exterior mesh and grates shall be removed.

The infilled circular window opening at the east end of the drill deck above the parapet shall be replaced with a new aluminum circular window to be consistent with the existing windows in appearance, design, proportions, profiles, and sightlines. Detailed drawings will be provided for review and approval prior to commencing work.

A new storefront assembly shall be added to the West Elevation at the stage level to provide natural light to the interior of the new office space and conference room. The new assembly shall be flush with the existing face of the masonry so as to maintain the flat appearance of the façade. The storefront assembly shall be of a new design that is compatible with the historic character of the building without being falsely historic. Drawings will be submitted for review and approval prior to commencing work.

Number	Feature <u>Exterior Egress Stairs</u>	Date of Feature <u>1915</u>
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Describe existing feature and its condition

There are two sets of exterior egress stairs on the building running from the Mezzanine to the exterior ground level, with an additional exit at the 1st Floor Drill Deck. One stair is on the South Elevation and exits toward the river, and the other stair is on the North Elevation and exits toward N. Water St. Both egress stairs are painted black metal in fair condition.

Photo numbers _____ Drawing numbers A201, A202

Describe work and impact on feature

Existing egress stairs are to be retained and rehabilitated as a means of egress from the building. Connections to the building shall be rehabilitated as necessary to ensure structural stability. Any loose or spalling masonry units shall be repaired or reinstalled as necessary. Loose paint shall be stripped and the stairs shall be given a new coat of black paint.

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 2 – DESCRIPTION OF REHABILITATION

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Number	Feature <u>Exterior - Doors</u>	Date of Feature <u>1915, 1957</u>
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Describe existing feature and its condition

The main entry doors and transoms are an aluminum storefront system in fair condition, with some signs of deterioration. The current configuration was installed in 1957, replacing the original large wood barn doors and transom with smaller panes of glass above.

The egress doors are solid aluminum doors in poor condition.

A garage door in poor condition is located on the South Elevation. It is inoperable, with missing hardware.

Photo numbers _____ Drawing numbers A201

Describe work and impact on feature

The entry doors are to be replaced with a new aluminum storefront system. The new storefront system shall have two doors and sidelights and a new transom reconfigured to have smaller lites. The new storefront system will be behind new wood carriage doors. Both the new wood carriage doors and the new transom will be compatible with the historic character of the building based on historic photos.

The egress doors are to be replaced with new solid aluminum doors.

The garage door will be removed and replaced with a storefront system to compliment the historic character of the building without appearing falsely historic.

Number	Feature <u>Balcony - New</u>	Date of Feature <u>New</u>
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Describe existing feature and its condition

New balcony on West Elevation.

Photo numbers _____ Drawing numbers A201, A202

Describe work and impact on feature

A new wood and steel balcony is proposed on the West Elevation at the interior Drill Deck stage level to create a connection to the adjacent riverfront and allow for event space for the new proposed offices. The balcony will be accessible from the new conference room proposed on the existing stage. The balcony will be composed of exposed wood and steel members to compliment the historic character of the building without drawing attention away from the remaining historic material or appearing falsely historic.

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Property Name Owosso Michigan National Guard Armory NPS Project Number _____

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Number	Feature <u>Roofs</u>	Date of Feature <u>1915, 1976, 1999</u>
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Describe existing feature and its condition

The Drill Deck roof is a pitched roof clad in gray shingles in fair condition. The roof over the stage in the drill deck is dropped several feet below the main drill deck roof but has the same slope, and is clad in the same gray shingles. The old basement egress stair at the west side of the North Elevation has a separate, shorter hipped roof, also clad in gray shingles, in fair condition. Gutters and downspouts are located on the edges of the roof, and are in poor condition.

The Administrative Section has a flat white membrane roof in fair condition. Access to the roof is through a roof hatch and ladder on the 2nd Floor. The roof is surrounded on three sides with a crenelated brick parapet and on the fourth by the masonry wall supporting the adjacent hip roof. There are two masonry turrets with partial height access doors on the north east and south east corners of the roof. The brick on the turrets is in fair condition, with few areas of spalling or cracking. See **Item Number #** for masonry work. A skylight is located at the north end of the roof and is in fair condition.

Photo numbers _____ Drawing numbers AD104, A104, A201, A202

Describe work and impact on feature

All parapets, turrets, and roof structures will be retained, inspected for damage, and repaired as necessary. See masonry **Item Number #** for the work. The existing roof material on both the Drill Deck and Administrative Section will be left in place and repaired as necessary. Drainage will remain the same but all gutters and downspouts will be removed and replaced with new to match the existing in shape and style as closely as possible. New rooftop mechanical equipment and any required screen walls will not be a noticeable feature when viewed from any of the public streets within a block of the building.

An elevator penthouse will be added to accommodate the new elevator system. See **Item Number #**. The elevator penthouse height will be limited as much as possible to not adversely affect sightlines. It will not be a noticeable feature when viewed from any of the public streets within a block of the building.

The existing skylight on the Administrative Section roof is to be removed and the roof infilled.

Number	Feature <u>Mechanical</u>	Date of Feature <u>unknown</u>
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Describe existing feature and its condition

The existing mechanical ducts are concealed in soffits and above drop ceilings. The systems are outdated and abandoned and in poor condition.

Photo numbers _____ Drawing numbers _____

Describe work and impact on feature

All mechanical systems are to be removed and replaced with updated systems to meet code. New mechanical equipment will be contained within the basement and other service areas within the building. All mechanical distribution "pipes and ducts" will be concealed in soffits in the new construction. Pipes and ducts will be kept tight to the ceiling and held back from windows so as to not be a noticeable feature from the street. New rooftop mechanical equipment and any required screen walls will not be a noticeable feature when viewed from any of the public streets within a block of the building.

A new cooling tower is to be added as part of the new mechanical systems and equipment. The cooling tower will be located on the North Elevation and will be partially buried in the ground adjacent to the building. Plant arrangements will be used to the greatest extent possible to conceal the cooling tower and keep it from being a noticeable feature when viewed from any of the public streets within a block of the building.

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 2 – DESCRIPTION OF REHABILITATION

Property Name Owosso Michigan National Guard Armory NPS Project Number _____

Property Address 201 North Water Street

5. Detailed description of rehabilitation work Reproduce this page as needed to describe all work or create a comparable format with this information. Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number	Feature <u>Electrical</u>	Date of Feature <u>unknown</u>
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Describe existing feature and its condition

The existing electrical system is outdated. What remains is in poor condition.

Photo numbers _____ Drawing numbers _____

Describe work and impact on feature

All electrical systems are to be removed and replaced with updated systems to meet code. They will be contained within the basement and service areas and concealed in the new construction.

Number	Feature <u>Plumbing</u>	Date of Feature <u>unknown</u>
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Describe existing feature and its condition

The existing plumbing is outdated and out of service. There are multiple occurrences of missing fixtures as well as leaking and damaged pipes.

Photo numbers _____ Drawing numbers _____

Describe work and impact on feature

All plumbing is to be removed and replaced with updated systems to meet code. Plumbing systems will be contained within the basement and service areas within the building. All piping within finished spaces will be concealed in the new construction as much as possible.

HISTORIC PRESERVATION CERTIFICATION APPLICATION

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Number	Feature <u>Fire Suppression</u>	Date of Feature <u>N/A</u>
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Describe existing feature and its condition

No fire suppression system currently exists.

Photo numbers _____ Drawing numbers _____

Describe work and impact on feature

Fire protection "sprinklers" will be installed per code and will be concealed where possible in all public locations. Proposed fire sprinkler systems to be installed in a manner that does not detract from the historic nature of the space. New sprinkler piping will run along beams or within walls to minimize visual impact. Detailed drawings of the fire suppression system will be submitted before work proceeds.

Number	Feature <u>Staircases - Existing</u>	Date of Feature <u>1915</u>
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Describe existing feature and its condition

The main historic staircase runs from the Ground Floor to the 2nd Floor in the Administrative Section. It is an open wood stair with decorative wood railings and is in fair condition.

An old wood egress stair is located in the north west corner of the Ground Floor. At one time the stair ran from the Ground Floor to the exterior ground level, where it had an exit door, to the 1st Floor. The top of the stair at the 1st Floor now runs into a floor slab above. The stair is in fair condition.

A short flight of stairs runs from the main entry doors to the 1st Floor lobby. These stairs span the width of the lobby and are in fair condition.

Two sets of wood stairs are located on either side of the stage in the Drill Deck to allow access to the stage and to two small rooms above. The stairs are in fair condition.

Two short flights of wood stairs run from the 2nd Floor level at the Administrative Section to the Drill Deck Mezzanine level. The stairs are in fair condition.

Photo numbers _____ Drawing numbers AD101, AD102, AD103, A101, A102, A103

Describe work and impact on feature

The main historic staircase, 1st Floor lobby stairs, and two short flights of wood stairs connecting the 2nd Floor and Mezzanine are to remain in their current configuration. The stairwells shall be cleaned of all debris and inspected for damage. All stair materials and finishes are to be repaired and rehabilitated where necessary.

The wood stairs by the stage in the Drill Deck are to be removed. The northern stair is to be replaced with a new spiral stair per the proposed floor plans to access the basement, mezzanine, and 1st floor, and a new straight stair to access the stage (See Item #). The southern stair is to become the location for the new accessible lift (See Item #).

The old wood egress stair is to be removed above the exterior ground level. The portion below the exterior ground level is to remain in its current configuration, cleaned of all debris, and inspected for damage. All stair materials and finishes are to be repaired and rehabilitated where necessary.

HISTORIC PRESERVATION CERTIFICATION APPLICATION

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Number	Feature <u>Staircases - New</u>	Date of Feature <u>New</u>
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Describe existing feature and its condition

New staircases in north west corner of building.

Photo numbers _____ Drawing numbers A100, A101, A102

Describe work and impact on feature

A new spiral stair is proposed in the north west corner of the building to connect the Ground Floor, First Floor, and Mezzanine. **The stair will be a metal spiral stair painted black with unfinished wood treads.** An additional new stair is proposed adjacent to the spiral stair to connect the First Floor to the stage level. **The stair will be a wood stair.** The stairs will not detract from the historic character of the space or appear falsely historic. Detailed drawings of the stair are provided with the proposed floor plans.

Number	Feature <u>Elevator and Accessible Lift- New</u>	Date of Feature <u>New</u>
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Describe existing feature and its condition

No elevator currently exists.

No accessible lift currently exists.

Photo numbers _____ Drawing numbers A100, A101, A102, A103

Describe work and impact on feature

A new elevator is proposed for the Administrative Section which will run to the Ground Floor, First Floor, and Second Floor. The elevator doors will be plain panels so as to not appear falsely historic. The penthouse height will be limited as much as possible as to not adversely affect sight lines.

A new accessible lift is proposed for the Drill Deck to provide accessible access to the stage level. The new lift will be contained in an existing room to the south of the stage. See attached plans for details.

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PART 2 – DESCRIPTION OF REHABILITATION

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Number	Feature <u>Interior Brick</u>	Date of Feature <u>1915</u>
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Describe existing feature and its condition

Two interior masonry load-bearing walls are found in the building, one in front of the stage in the Drill Deck area, and one adjacent to the historic stair, between the Drill Deck and Administrative Section. Both walls are glazed brick in fair condition with some signs of structural stress.

Exposed brick walls are found on all four sides of the drill deck at both the 1st Floor and Mezzanine levels and at the Drill Deck side of the load bearing wall by the historic stair.

Photo numbers _____ Drawing numbers _____

Describe work and impact on feature

All brick is to be inspected for damage. All damaged, deteriorating, or spalling units are to be removed and replaced with new material to match original units. Missing units are to be replaced to match the remaining adjacent materials. New brick will match the existing as closely as possible in color, size, texture, and compressive strength. Any salvaged brick will be reused where replacement brick is needed before new brick. Exposed brick is to be cleaned using the gentlest means possible to achieve acceptable results without damaging or substantially altering the physical characteristics of the masonry surfaces, in accordance with Preservation Brief #1: *Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings*. Specifications and test cleaning samples will be provided for review and approval prior to commencing work. Close-up photographs of the masonry before and after cleaning will be submitted with the Request for Certification of Completed Work.

Masonry will be repointed as needed and any loose or displaced units reset. No new damage will be done to the masonry. Repointed mortar will match the color, texture, compressive strength, joint width and joint profile of the existing historic masonry as much as possible. Raking out mortar joints shall not damage masonry units. Masonry re-pointing will be done in accordance with Preservation Brief 2: *Re-pointing Mortar Joints in Historic Masonry Buildings*. No new damage will be done to the masonry. Specifications and repointing samples will be provided for review and approval prior to commencing work. Close-up photographs meeting historic standards of the masonry before and after repointing will be submitted with the Request for Certification of Completed Work.

Number	Feature <u>Ground Floor and Sub-Basement</u>	Date of Feature <u>1915, later alterations</u>
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Describe existing feature and its condition

The Ground Floor is characterized by a series of columns and non-historic partitions to create several smaller spaces. The Ground Floor was used as an exercise and training facility for the Armory, and had a pool in the large room on the west side of the building, which has since been infilled with concrete. Drop soffits cover the beams and utilities that run between the columns.

A sub-basement is located in the south west corner of the building and is accessed by a staircase. The sub-basement was used for mechanical, electrical, and plumbing equipment.

Photo numbers _____ Drawing numbers AD101, A101

Describe work and impact on feature

The Ground Floor is to be cleared of all debris and all partition walls. All non-historic material is to be removed, as indicated in plan. The Ground Floor is to be finished for future tenant build-out as indicated in the attached drawings. Walls and ceilings will be covered with drywall. Main utility and duct lines will be concealed in soffits. New soffits or drop ceilings are to be installed higher than existing window heads or held back a minimum of 3'-0" away from the windows.

The sub-basement is to be cleared of all debris and existing equipment and infilled with concrete to match the level of the surrounding basement.

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5. Detailed description of rehabilitation work Reproduce this page as needed to describe all work or create a comparable format with this information. Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number	Feature <u>First Floor</u>	Date of Feature <u>1915, later alterations</u>
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Describe existing feature and its condition

The 1st Floor can be divided into two areas – the Drill Deck and the Administrative Section.

The Drill Deck is a large open gym space with a wood mezzanine running along the north and south ends. The wood slat floor is in fair condition with areas of buckling and wear. The west end has a wood stage in fair condition. The ceiling of the Drill Deck was once open to the large steel support trusses above, but has since been covered by a drop ceiling. Two small staircases lead to small rooms on the north and south sides of the stage. Each of these rooms continues up to a second story that is only accessible from the individual staircases at the stage below.

The Administrative Section is divided into a series of rooms with non-historic partitions accessed from a central lobby. Both the historic stair to the Ground and 2nd Floors and the short flight of stairs to the Main Entry door are accessed from the lobby.

Photo numbers _____ Drawing numbers AD102, A102

Describe work and impact on feature

All non-historic materials are to be removed as indicated in plan. Interior walls where found to historically have a finish will retain the current rehabilitated finish or receive a new finish such as drywall and will not leave the structure exposed. Masonry will only be left exposed in areas that have been documented as being exposed historically, including the two interior masonry load bearing walls at the stage and the exterior walls surrounding the Drill Deck. At interior office locations, the ceiling will have a dropped soffit for the concealment of all ductwork as required. New ceiling assemblies will be installed higher than existing window heads, or held back a minimum of 3'-0" away from the windows.

The Drill Deck floor is to be cleaned and refinished. The drop ceiling in the Drill Deck is to be removed to expose the large steel support trusses above. The stage is to be stripped of paint and refinished as a conference room with a new storefront system installed along the edge of the stage. The storefront system will complement the historic character of the building without drawing attention away from the remaining historic material or appearing falsely historic. Detailed drawings of the storefront system will be submitted for review and approval prior to construction.

Number	Feature <u>Drill Deck Mezzanine</u>	Date of Feature <u>1915, later alterations</u>
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Describe existing feature and its condition

A wood mezzanine is hung from the structural steel trusses above on the north and south sides of the Drill Deck. The mezzanine floor is in good condition. Gyp board box-outs interrupt the mezzanine at the same locations as the exterior pilasters. A solid wood railing in fair condition is on the edge of the mezzanine. The only access to the mezzanine is via stairs from the 2nd Floor and from the exterior egress stairs.

Photo numbers _____ Drawing numbers AD103, A103

Describe work and impact on feature

The mezzanine is to be extended 4'-0" into the Drill Deck space to accommodate the new open office arrangement and allow sufficient space for circulation. The gyp board box-outs are to be removed. **A new routed MDF guard rail shall be installed at the new mezzanine edge** that will complement the historic character of the building without appearing falsely historic. **A new stair will be added at the north west corner of the Drill Deck to provide access from the 1st Floor to the Mezzanine (See Item #).**

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Number	Feature <u>Second Floor</u>	Date of Feature <u>1915, later alterations</u>
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Describe existing feature and its condition

The 2nd Floor is contained in the Administrative Section of the building and consists of a series of rooms divided by non-historic partitions. The 2nd Floor provides the only access to the mezzanine area. At one time a portion of the 2nd Floor was used as bleacher seating and the west wall was open to the Drill Deck below. A lobby area at the top of the historic stair provides circulation to the old administrative offices.

Photo numbers _____ Drawing numbers AD103, A103

Describe work and impact on feature

All non-historic materials are to be removed as indicated in plan. Interior walls and ceilings where found to historically have a finish will retain the current rehabilitated finish or receive a new finish such as drywall and will not leave the structure exposed. Masonry will only be left exposed in areas that have been documented as being exposed historically. At interior office locations, the ceiling will have a dropped soffit for the concealment of all ductwork as required. New ceiling assemblies will be installed higher than existing window heads, or held back a minimum of 3'-0" away from the windows.

The west wall is to be removed to reopen the space to the Drill Deck below. A new **routed MDF** guard rail to match the new guard rail at the mezzanine will be installed in place of the west wall.

Number	Feature <u>Office Tenant Build-Out</u>	Date of Feature <u>Future</u>
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Describe existing feature and its condition

Future office tenant build-out

Photo numbers _____ Drawing numbers A101, A102, A103

Describe work and impact on feature

Future office tenant build-out will be completed as indicated in drawings sent for approval before work begins. Walls and ceilings will be covered with drywall. Main utility and duct lines will be concealed in soffits to minimize visual impact.