

**CITY OF OWOSSO
REGULAR MEETING OF THE CITY COUNCIL
MONDAY, DECEMBER 17, 2018
7:30 P.M.**

**Meeting to be held at City Hall
301 West Main Street**

AGENDA

OPENING PRAYER:

PLEDGE OF ALLEGIANCE:

ROLL CALL:

APPROVAL OF THE AGENDA:

APPROVAL OF THE MINUTES OF REGULAR MEETING OF DECEMBER 3, 2018:

ADDRESSING THE CITY COUNCIL

1. Your comments shall be made during times set aside for that purpose.
2. Stand or raise a hand to indicate that you wish to speak.
3. When recognized, give your name and address and direct your comments and/or questions to any City official in attendance.
4. Each person wishing to address the City Council and/or attending officials shall be afforded one opportunity of up to four (4) minutes duration during the first occasion for citizen comments and questions. Each person shall also be afforded one opportunity of up to three (3) minutes duration during the last occasion provided for citizen comments and questions and one opportunity of up to three (3) minutes duration during each public hearing. Comments made during public hearings shall be relevant to the subject for which the public hearings are held.
5. In addition to the opportunities described above, a citizen may respond to questions posed to him or her by the Mayor or members of the Council, provided members have been granted the floor to pose such questions.

PROCLAMATIONS / SPECIAL PRESENTATIONS

None.

PUBLIC HEARINGS

1. Proposed Special Assessment Project – Abrey Street. Conduct a public hearing to receive citizen comment regarding Resolution No. 3 for proposed Special Assessment District No. 2019-01 for Abrey Street from Melinda Avenue to Allendale Avenue for street resurfacing.
2. Proposed Special Assessment Project – Seventh Street. Conduct a public hearing to receive citizen comment regarding Resolution No. 3 for proposed Special Assessment District No. 2019-11 for Seventh Street from Oliver Street to King Street for street resurfacing.

CITIZEN COMMENTS AND QUESTIONS

CITY MANAGER REPORT

CONSENT AGENDA

1. 2019 Income Threshold Poverty Exemptions. Adopt the 2019 Income Threshold Poverty Exemptions, as required by Public Act No. 390 of 1994.
2. 2019 Schedule of Meetings. Adopt the 2019 Boards and Commissions Meeting Schedule.
3. Boards and Commissions Appointments. Approve the following Mayoral Boards and Commissions appointments:

Name	Board/Commission	Term Expires
Heather Jacobs*	Historical Commission	12-31-2021

4. Christmas Extravaganza Ice Rink Permission. Approve the application from Owosso Main Street/Downtown Development Authority for use of Main Street Plaza (Lot #13) on Friday, December 21, 2018 at 3:00 p.m. until Saturday, December 22, 2018 at 10:00 p.m. for an ice skating rink as part of the Downtown Christmas Extravaganza, waive the insurance requirement, and authorize Traffic Control Order No. 1410 formalizing the action.
5. Amendment No. 3 - GIS Support Services for Water & Sewer System Mapping Contract. Approval of Amendment No. 3 to the professional services agreement with Orchard, Hiltz and McClement (OHM) of Livonia, Michigan, for additional GIS-geodatabase maintenance support services in the amount of \$30,000.00.
6. Change Order - 2017 Street Program Contract. Authorize Change Order No. 2 to the contract with Malley Construction, Inc. for the 2017 Street Program increasing the contract amount by \$71,383.18 to balance original contract pay items and add additional items due to conditions found in the field, and further authorize payment to the contractor for the contract amount, including Change Order Nos. 1 and 2.
7. Contract Authorization - Gould House Ceiling. Waive competitive bidding requirements and authorize contracts with JCP Plaster & Drywall for the restoration of the ceiling, medallion, and trim in the Great Room of the Amos Gould House in the amount of \$8,200.00, and Ludington Electric, Inc. for the replacement of the electrical wiring and installation of art lights in said location in the amount of \$2,812.00, and further authorize up to the amount of \$1,500.00 to paint and finish the ceiling.
8. Purchase Authorization - Water Main Repair & Replacement Components – South Washington Street. Authorize waiver of the formal bid requirements in order for immediate procurement of parts and further authorize the purchase of water main repair and replacement components for South Washington Street from ETNA Supply and East Jordan Iron Works in the amount of \$24,076.21 and \$12,144.88 respectively, plus a contingency of \$3,500.00, and further authorize payment to the suppliers upon satisfactory receipt of the materials.
9. Purchase Authorization - Water Main Repair & Replacement Components – Seventh Street. Authorize waiver of the formal bid requirements in order for immediate procurement of parts and further authorize the purchase of water main repair and replacement components for Seventh Street from ETNA Supply and East Jordan Iron Works in the amount of \$24,584.66 and \$12,679.85 respectively, plus a contingency of \$3,500.00, and further authorize payment to the suppliers upon satisfactory receipt of the materials.
10. Warrant No. 565. Authorize Warrant No. 565 as follows:

Vendor	Description	Fund	Amount
Michigan Municipal Risk Management Authority	Building and property insurance-3 rd installment	Various	\$57,969.00

11. Check Register – November 2018. Affirm check disbursements totaling \$1,887,982.28 for November 2018.

ITEMS OF BUSINESS

1. Easement Agreement – Cargill, Incorporated. Consider granting an easement to Cargill, Incorporated to allow placement of a directional sign to their property to be located in the right-of-way of the intersection of Chipman Street and Hathaway Drive.
2. Recreational Marijuana Facilities Moratorium. Consider the Planning Commission recommendation to adopt a moratorium on the establishment of recreational marijuana facilities and the submission of local applications until after LARA has established the state regulations/application process and the City has adopted ordinance amendments to regulate recreational marijuana establishments within the City limits.
3. Bonding Resolution. Consider a resolution authorizing the issuance and sale of Unlimited Tax General Obligation Street Bonds for street improvements in an amount not to exceed \$5,100,000.00.

COMMUNICATIONS

1. Nathan R. Henne, City Manager. Osburn Lakes Due Diligence Extension No. 2.
2. Nathan R. Henne, City Manager. Osburn Lakes Phase 2 Geotechnical and Pavement Evaluation Report.
3. N. Bradley Hissong, Building Official. November 2018 Building Department Report.
4. N. Bradley Hissong, Building Official. November 2018 Code Violations Report.
5. N. Bradley Hissong, Building Official. November 2018 Certificates Issued Report.
6. Kevin D. Lenkart, Public Safety Director. November 2018 Police Report.
7. Kevin D. Lenkart, Public Safety Director. November 2018 Fire Report.
8. Downtown Development Authority/Main Street. Minutes of December 5, 2018.
9. Planning Commission. Minutes of December 12, 2018. (This item can be found included with the information regarding the proposed recreational marijuana facilities moratorium.)

CITIZEN COMMENTS AND QUESTIONS

NEXT MEETING

Monday, January 07, 2019

BOARDS AND COMMISSIONS OPENINGS

Building Board of Appeals – Alternate - term expires June 30, 2019
Building Board of Appeals – Alternate - term expires June 30, 2021
Brownfield Redevelopment Authority – term expires June 30, 2022
Historical Commission – term expires December 31, 2020
Historical Commission – term expires December 31, 2021
Parks & Recreation Commission – term expires June 30, 2019
Zoning Board of Appeals - Alternate – term expires June 30, 2021

ADJOURNMENT

The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio recordings of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing, calling, or emailing the following: Owosso City Clerk's Office, 301 West Main Street, Owosso, MI 48867; Phone: (989) 725-0500; Email: city.clerk@ci.owosso.mi.us. The City of Owosso Website address is www.ci.owosso.mi.us.

**CITY OF OWOSSO
REGULAR MEETING OF THE CITY COUNCIL
MINUTES OF DECEMBER 3, 2018
7:30 P.M.**

PRESIDING OFFICER: MAYOR CHRISTOPHER T. EVELETH

OPENING PRAYER: THOMAS MANKE
EDITOR, FACEBOOK.COM/FRIENDSANDNEIGHBORSOWOSSO

PLEDGE OF ALLEGIANCE: MAYOR PRO-TEM SUSAN J. OSIKA

PRESENT: Mayor Christopher T. Eveleth, Mayor Pro-Tem Susan J. Osika,
Councilmembers Loreen F. Bailey, Janae L. Fear, Jerome C. Haber,
Daniel A. Law, and Nicholas L. Pidek.

ABSENT: None.

APPROVE AGENDA

Motion by Councilmember Bailey to approve the agenda with the following change:

CONSENT AGENDA

4. Boards and Commissions Appointments. Approve the following Mayoral Boards and Commissions appointments:

Name	Board/Commission	Term Expires
Amber Fuller*	Board of Review	12-31-2023
Jerry Haber	City of Owosso Employees' Retirement System Board of Trustees	11-14-2022
Loreen Bailey	City of Owosso Employees' Retirement System Board of Trustees	11-09-2020
Christopher Eveleth*	Zoning Board of Appeals	11-14-2022

Motion supported by Councilmember Law and concurred in by unanimous vote.

APPROVAL OF THE MINUTES OF REGULAR MEETING OF NOVEMBER 19, 2018

Motion by Mayor Pro-Tem Osika to approve the Minutes of the Regular Meeting of November 19, 2018 as presented.

Motion supported by Councilmember Haber and concurred in by unanimous vote.

PROCLAMATIONS / SPECIAL PRESENTATIONS

2017-18 Audit Presentation

Joe Verlin, CPA, principal at Gabridge & Company, PLC was on hand to deliver a presentation detailing the City's 2017-18 Audit. He said the City had received an unmodified opinion (clean opinion), staff was helpful throughout the audit process, and there were no adjusting journal entries needed. He went on to report that General Fund revenues had exceeded expenditures by \$371,208, strong investment returns

helped the pensions gain significant ground over the previous year, and the long-term outlook for the City's finances is improving. The City has a very healthy unassigned fund balance as compared to expenditures and there was an overall decrease in the balance of all governmental funds (\$1.36 million). The City's retirement system is approximately 95% funded, while the City's MERS retirement component is approximately 66% funded, both meeting the new standards set by the State.

Mayor Eveleth said he was pleased to hear the City is doing well.

Councilmember Pidek asked what the Council could do to protect against downturns in the economy. Finance Director Cheryl A. Grice indicated the Council had passed a policy last year requiring the City to maintain a minimum unrestricted Fund Balance of 25% of General Fund Operating Expenses which was extremely important in preparing the City for economic downturns.

Mr. Verlin closed the discussion by saying the City is in a very stable position financially when compared with other communities. The biggest impacts come from the defined benefit pension plans, but the movement toward the provision of defined contribution plans is helping the outlook.

PUBLIC HEARINGS

Proposed Special Assessment Project - Allendale Avenue

A public hearing was conducted to receive citizen comment regarding Resolution No. 3 for proposed Special Assessment District No. 2019-02 for Allendale Avenue, from Gould Street to the east city limits for street resurfacing.

City Manager Nathan R. Henne indicated the proposed project would beef up the street from a simple chip seal over gravel to a fully paved surface.

The following person commented in regard to the proposed special assessment project:

Linda Balsley, former resident at 1275 Allendale Avenue, via telephone prior to the meeting, indicated she had sold the property recently and no longer lived there. Staff will contact the new owner regarding the proposed special assessment project.

The public hearing was closed with no further comment.

Councilmember Pidek asked about the age of the pipes under this section of street, wondering if it would be possible (and prudent) to take a look at them before the street is resurfaced. City Manager Henne indicated that the lines in this location are at least five feet under the road surface and the work proposed will not be anywhere close to that deep. He said that given the age of the pipes in question he would expect them to continue to provide service without trouble for many years.

Motion by Councilmember Bailey to approve the following resolution:

RESOLUTION NO. 176-2018

AUTHORIZING SPECIAL ASSESSMENT RESOLUTION NO. 3 ESTABLISHING SPECIAL ASSESSMENT DISTRICT NO. 2019-02 ALLENDALE AVENUE, FROM GOULD STREET TO EAST CITY LIMITS FOR STREET RESURFACING

WHEREAS, the City Council, after due and legal notice, has met and having heard all persons to be affected by the proposed public improvement more particularly hereinafter described; and

WHEREAS, the City Council deems it advisable and necessary to proceed with said public improvement as more particularly hereinafter described.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The City Council hereby determines to make and proceed with the following described public improvement and to defray a part or the whole cost, as more particularly hereinafter provided, by special assessment upon the property specially benefited:

ALLENDALE AVENUE, A PUBLIC STREET, FROM GOULD STREET TO EAST CITY LIMITS
STREET RESURFACING

2. The City Council hereby approves the plans for the aforesaid public improvement as prepared and presented by the City Manager and determines the estimated cost of said public improvement to be \$151,218.36 and approves said estimated cost and determines that the estimated life of said public improvement is fifteen (15) years.
3. The City Council determines that of said total estimated cost, the sum of \$17,481.45 be paid by special assessment upon the property specially benefited, as more particularly hereinafter described.
4. The City Council hereby designates the following described property as the special assessment district upon which the special assessment shall be levied:

Allendale Avenue, a Public Street, from Gould Street to east city limits
Street resurfacing
5. The City Assessor shall prepare a special assessment roll including all lots and parcels of land within the special assessment district herein designated, and the Assessor shall assess to each such lot or parcel of land such relative portion of the whole sum to be levied against all lands in the special assessment district as the benefit to such lot or parcel of land bears to the total benefits to all lands in such district.
6. When the Assessor shall have completed the assessment roll, he shall file the special assessment roll with the City Clerk for presentation to the City Council.

Motion supported by Mayor Pro-Tem Osika.

Roll Call Vote.

AYES: Councilmembers Bailey, Pidek, Haber, Mayor Pro-Tem Osika, Councilmembers Law, Fear, and Mayor Eveleth.

NAYS: None.

Proposed Special Assessment Project - North Street

A public hearing was conducted to receive citizen comment regarding Resolution No. 3 for proposed Special Assessment District No. 2019-08 for North Street, from Chipman Street to the west city limits for street resurfacing.

City Manager Henne briefly detailed the proposed project saying it would involve the crushing and shaping of the current street surface, repair of areas near the recent bridge reconstruction, the addition of 12-inch gravel shoulders, and pavement with asphalt. He went on to say that the entire north side of the proposed project is the City's border with Owosso Charter Township and he plans on approaching them

to share in the cost after bids are received and actual costs are known, though the City has no recent history of the adjoining townships sharing in such costs.

The following person commented in regard to the proposed special assessment project:

Nathan Struble, pastor of Owosso Free Methodist Church and resident at 1335 W. North Street, said it was his understanding that the church is not exempt from the cost of the project and he is concerned that their small membership will not be able to raise the funds necessary to pay the assessment. He said the church serves the entire community through the use of its facilities for groups such as the Boy Scouts and a street assessment would jeopardize their ability to provide such services/facilities. He further indicated that North Street is already a race track and a new smooth surface will only encourage people to speed.

Fred Toman, 1445 W. North Street, said he has lived in his home for 12 years and he noticed a significant increase in the speed of vehicles after the bridge was widened a couple of years ago. He said the street surface is deteriorated from his house to the railroad tracks but feels that was because of the movement of heavy equipment when the bridge was reconstructed. Lastly, he noted that there are a number of houses along the north side of the street and he would like to see those property owners share in the cost of the project since they use the street as well.

Tom Manke, editor- Facebook.com/FriendsAndNeighborsOwosso, inquired about what would happen if the township doesn't respond to a request for cost sharing. It was noted that in such case only those on the south side of the street would be assessed.

Allan Goetzinger, 1601 W. North Street, via email, indicated he is opposed to the proposed project and is unable to assist the City in financing the project. He suggested the Council stop the project from moving forward unless the City was able to pay for the project in full with the tax funding and street bond money it already has.

The public comment portion of the hearing was closed when no further citizens came forward.

Mayor Eveleth responded to Mr. Manke's comments saying he wishes he could assess township residents when their streets are reconstructed but he can't, so the best he could hope for was that they step up and pay their share. Addressing Pastor Struble the Mayor confirmed that all entities are subject to special assessments including schools and churches. He went on to say that the church could make an assessment easier to bear by splitting the payments up over the course of a number of years. Tonight's public hearing is to determine the necessity of the project only.

Councilmember Pidek asked what would happen if the project was pushed back. City Manager Henne indicated it could be pushed back a couple of years if necessary, but the Council should expect a cost increase of 6%-10% for each year the project is delayed.

Councilmember Fear noted that the City had the same cost sharing issue with one of the townships when Gould Street was reconstructed. She asked how far the City would pursue payment and whether the outcome might change if the township was brought into the process at an earlier stage in the preparations. City Manager Henne said his current plan was to send a letter and make a few phone calls to the township after the bids come in, but they could try to bring the township into the conversation sooner in the future.

Mayor Eveleth noted for the record that the City residents in the project area would not be paying for the township's share of the project should the township refuse to share in the cost. The City will pay the extra cost from its street fund. Lastly, he asked if the Public Safety Department would look into stepping up patrols in the area.

Motion by Councilmember Bailey to approve the following resolution:

RESOLUTION NO. 177-2018

**AUTHORIZING SPECIAL ASSESSMENT RESOLUTION NO. 3
ESTABLISHING SPECIAL ASSESSMENT DISTRICT NO. 2019-08
NORTH STREET, FROM WEST CITY LIMITS TO CHIPMAN STREET
FOR STREET RESURFACING**

WHEREAS, the City Council, after due and legal notice, has met and having heard all persons to be affected by the proposed public improvement more particularly hereinafter described; and

WHEREAS, the City Council deems it advisable and necessary to proceed with said public improvement as more particularly hereinafter described.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The City Council hereby determines to make and proceed with the following described public improvement and to defray a part or the whole cost, as more particularly hereinafter provided, by special assessment upon the property specially benefited:

NORTH STREET, A PUBLIC STREET, FROM THE WEST CITY LIMITS TO CHIPMAN STREET
STREET RESURFACING

2. The City Council hereby approves the plans for the aforesaid public improvement as prepared and presented by the City Manager and determines the estimated cost of said public improvement to be \$238,802.34 and approves said estimated cost and determines that the estimated life of said public improvement is fifteen (15) years.
3. The City Council determines that of said total estimated cost, the sum of \$30,898.57 be paid by special assessment upon the property specially benefited, as more particularly hereinafter described.
4. The City Council hereby designates the following described property as the special assessment district upon which the special assessment shall be levied:

North Street, a Public Street, from west city limits to Chipman Street
Street resurfacing
5. The City Assessor shall prepare a special assessment roll including all lots and parcels of land within the special assessment district herein designated, and the Assessor shall assess to each such lot or parcel of land such relative portion of the whole sum to be levied against all lands in the special assessment district as the benefit to such lot or parcel of land bears to the total benefits to all lands in such district.
6. When the Assessor shall have completed the assessment roll, he shall file the special assessment roll with the City Clerk for presentation to the City Council.

Motion supported by Mayor Pro-Tem Osika.

Roll Call Vote.

AYES: Councilmember Haber, Mayor Pro-Tem Osika, Councilmembers Bailey, Law, and Mayor Eveleth.

NAYS: Councilmembers Fear and Pidek.

Proposed Special Assessment District No. 2018-01 – Hazards and Nuisances

A public hearing was conducted to receive citizen comment regarding proposed Special Assessment District No. 2018-01, Hazards and Nuisances, as it relates to unpaid costs incurred in the altering, repairing, tearing down, abating or removing of hazards and nuisances.

There were no citizen comments received prior to, or during the hearing.

Motion by Mayor Pro-Tem Osika to approve the following resolution:

RESOLUTION NO. 178-2018

**AUTHORIZING THE ROLL FOR
SPECIAL ASSESSMENT DISTRICT NO. 2018-01, HAZARDS & NUISANCES**

WHEREAS, the Council, after due and legal notice, has met and there being no one to be heard, motion by Mayor Pro-Tem Osika to adopt Special Assessment Resolution No. 2 for the annual hazards & nuisances roll, as follows:

Parcel #	Address	Type of Nuisance	Balance
050-010-017-024-00	621 WOODLAWN AVE	PROPERTY CLEAN UP	\$ 495.69
050-111-009-009-00	918 E OLIVER ST	CLEAR ICE/SNOW	\$ 177.97
050-113-004-004-00	910 MILWAUKEE ST	MOW TALL GRASS/WEEDS	\$ 150.00
050-114-001-010-00	900 STATE ST	PROPERTY CLEAN UP	\$ 260.96
050-114-002-004-00	821 STATE ST	MOW TALL GRASS/WEEDS	\$ 170.00
050-240-002-015-00	631 N HICKORY	MOW TALL GRASS/WEEDS	\$ 180.10
050-390-004-012-00	1260 ADAMS ST	MOW TALL GRASS/WEEDS	\$ 671.96
050-420-010-006-00	825 LINGLE AV	MOW TALL GRASS/WEEDS	\$ 150.00
050-440-000-012-00	921 DINGWALL DR	MOW TALL GRASS/WEEDS	\$ 310.53
050-537-000-042-00	1302 W MAIN	CLEAR ICE/SNOW	\$ 216.60
050-580-000-054-00	316 OAKWOOD AV	PROPERTY CLEAN UP	\$ 1,376.12
050-602-017-004-00	1417 FREDERICK ST	MOW TALL GRASS/WEEDS	\$ 170.00
050-651-006-007-00	320 CASS ST	PROPERTY CLEAN UP	\$ 493.51
050-660-007-011-00	1014 BEEHLER ST	MOW TALL GRASS/WEEDS	\$ 150.00
050-660-009-002-00	911 BEEHLER ST	PROPERTY CLEAN UP	\$ 298.82
050-660-018-011-00	726 CLINTON ST	PROPERTY CLEAN UP	\$ 199.98
050-660-025-001-00	302 S SHIAWASSEE ST	CLEAR ICE/SNOW	\$ 216.60
050-673-003-010-00	526 FLETCHER ST	MOW TALL GRASS/WEEDS	\$ 212.19
050-710-001-012-00	915 CORUNNA AV	MOW TALL GRASS/WEEDS	\$ 630.00
			<u>\$ 6,531.03</u>

and

WHEREAS, the Council deems said Special Assessment Roll- Hazards and Nuisances to be fair, just and equitable and that each of the assessments contained thereon results in the special assessment being in accordance with the unpaid costs incurred in the altering, repairing, tearing down, abating or removing of hazards and nuisances of said properties.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. Said Special Assessment Roll-Hazards and Nuisances as prepared by the City Assessor in the amount of \$6,531.03 is hereby confirmed and shall be known as Special Assessment Roll-Hazards and Nuisances No. 2018-01.
2. Said Special Assessment Roll-Hazards and Nuisances No. 2018-01 shall be placed on file in the office of the City Clerk who shall attach his warrant to a certified copy thereof within ten (10) days commanding the Assessor to spread the various sums shown thereon as directed by the City Council.

Motion supported by Councilmember Law.

Roll Call Vote.

AYES: Mayor Pro-Tem Osika, Councilmembers Fear, Law, Pidek, Haber, Bailey, and Mayor Eveleth.

NAYS: None.

As a point of information, the following invoices consist of unpaid nuisances and hazards that are unable to be leined and must be written off due to the State of Michigan tax sale process.

Invoice #	Parcel #	Address	Type of Nuisance	Balance
4402, 4466, 4489, 4665, 4666, 4667	050-420-011-015-00	755 BROADWAY AV	MOW TALL GRASS/WEEDS	\$1,047.73
4484	050-420-011-015-00	755 BROADWAY AV	PROPERTY CLEAN UP	\$ 250.95
				\$1,298.68

CITIZEN COMMENTS AND QUESTIONS

Tom Manke, editor- Facebook.com/FriendsAndNeighborsOwosso, said he was happy to hear the City has a healthy fund balance.

Eddie Urban, 601 Glenwood Avenue, spoke on several topics including the annual basketball game involving local first responders, fire hydrants, and marijuana.

Michael Espich, chairman of the Parks & Recreation Commission, said plans for the skate park are finally coming to fruition, a ground breaking ceremony will be held at the park site on December 12th at 9:00am. All are invited to attend.

Mayor Eveleth noted that he had recently driven to southern Indiana to pick up a park bench made entirely from recycled plastic. He went on to admit that he had bet the students of Central Elementary that they would not be able to collect the 250 lbs. of bottle caps necessary to "purchase" the bench. They did so, in two months' time.

Councilmember Law formally expressed his sympathy to former Councilman Burton Fox and his family on the loss of his wife.

Councilmember Pidek thanked the Parks & Recreation Commission for their dedication in seeing the skate park project come to fruition.

CITY MANAGER REPORT

Project Status Report

City Manager Henne presented the latest project status report to the Council.

CONSENT AGENDA

Motion by Councilmember Bailey to approve the Consent Agenda as follows:

Proposed Special Assessment District No. 2019-01 – Abrey Street. Authorize Resolution No. 2 setting a public hearing for Monday, December 17, 2018 for proposed Special Assessment District No. 2019-01 for Abrey Street from Melinda Avenue to Allendale Avenue for street resurfacing as follows:

RESOLUTION NO. 179-2018

ABREY STREET FROM MELINDA AVENUE TO ALLENDALE AVENUE SPECIAL ASSESSMENT RESOLUTION NO. 2

WHEREAS, the City Council has ordered the City Manager to prepare a report for public improvement, more particularly hereinafter described; and

ABREY STREET, A PUBLIC STREET, FROM MELINDA AVENUE TO ALLENDALE AVENUE
STREET RESURFACING

WHEREAS, the City Manager prepared said report and the same has been filed with the City Council as required by the Special Assessment Ordinance of the City of Owosso and the Council has reviewed said report.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The plans and estimate of cost and the report of the City Manager for said public improvement shall be filed in the office of the City Clerk and shall be available for public examination.
2. The City Council hereby determines that the Public Improvement hereinafter set forth may be necessary.
3. The City Council hereby approves the estimate of cost of said public improvement to be \$71,721.18 and determines that \$17,212.23 thereof shall be paid by special assessment imposed on the lots and parcels of land more particularly hereinafter set forth, which lots and parcels of land are hereby designated to be all of the lots and parcels of land to be benefited by said improvements and determines that \$54,508.95 of the cost thereof shall be paid by the City at large because of benefit to the City at large.
4. The City Council hereby determines that the portion of the cost of said public improvement to be specially assessed shall be assessed in accordance with the benefits to be received.
5. The City Council shall meet at the Owosso City Hall Council Chambers on Monday, December 17, 2018 for the purpose of hearing all persons to be affected by the proposed public improvement.
6. The City Clerk is hereby directed to cause notice of the time and place of the hearing to be published once in The Argus Press, the official newspaper of the City of Owosso, not less than seven (7) days prior to the date of said hearing and shall further cause notice of said hearing to be sent by first class mail to each owner of property subject to assessment, as indicated by the records in the City Assessor's Office as shown on the general tax roll of the City, at least (10) full days before the time of said hearing, said notice to be mailed to the addresses shown on said general tax rolls of the City.

7. The notice of said hearing to be published and mailed shall be in substantially the following form:

NOTICE OF SPECIAL ASSESSMENT HEARING
CITY OF OWOSSO, MICHIGAN

TO THE OWNERS OF THE FOLLOWING DESCRIBED PROPERTY:

TAKE NOTICE that the City Council intends to acquire and construct the following described public improvement:

Abrey Street, a Public Street, from Melinda Avenue to Allendale Avenue
Street Resurfacing

The City Council intends to defray apart or all of the cost of the above-described public improvement by special assessment against the above described property.

TAKE FURTHER NOTICE that City Council has caused plans and an estimate of the cost and report for the above described public improvement to be prepared and made by the City Manager and the same is on file with the City Clerk and available for public examination.

TAKE FURTHER NOTICE that the City Council will meet at the Owosso City Hall Council Chambers, Owosso, Michigan at 7:30 o'clock p.m. on Monday, December 17, 2018 for the purpose of hearing any person to be affected by the proposed public improvement.

Proposed Special Assessment District No. 2019-11 – Seventh Street. Authorize Resolution No. 2 setting a public hearing for Monday, December 17, 2018 for proposed Special Assessment District No. 2019-11 for Seventh Street from Oliver Street to King Street for street resurfacing as detailed below:

RESOLUTION NO. 180-2018

**SEVENTH STREET
FROM OLIVER STREET TO KING STREET
SPECIAL ASSESSMENT RESOLUTION NO. 2**

WHEREAS, the City Council has ordered the City Manager to prepare a report for public improvement, more particularly hereinafter described; and

SEVENTH STREET, A PUBLIC STREET, FROM OLIVER STREET TO KING STREET
STREET RESURFACING

WHEREAS, the City Manager prepared said report and the same has been filed with the City Council as required by the Special Assessment Ordinance of the City of Owosso and the Council has reviewed said report.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The plans and estimate of cost and the report of the City Manager for said public improvement shall be filed in the office of the City Clerk and shall be available for public examination.
2. The City Council hereby determines that the Public Improvement hereinafter set forth may be necessary.
3. The City Council hereby approves the estimate of cost of said public improvement to be \$206,972.40 and determines that \$46,029.50 thereof shall be paid by special assessment

imposed on the lots and parcels of land more particularly hereinafter set forth, which lots and parcels of land are hereby designated to be all of the lots and parcels of land to be benefited by said improvements and determines that \$16,0942.90 of the cost thereof shall be paid by the City at large because of benefit to the City at large.

4. The City Council hereby determines that the portion of the cost of said public improvement to be specially assessed shall be assessed in accordance with the benefits to be received.
5. The City Council shall meet at the Owosso City Hall Council Chambers on Monday, December 17, 2018 for the purpose of hearing all persons to be affected by the proposed public improvement.
6. The City Clerk is hereby directed to cause notice of the time and place of the hearing to be published once in The Argus Press, the official newspaper of the City of Owosso, not less than seven (7) days prior to the date of said hearing and shall further cause notice of said hearing to be sent by first class mail to each owner of property subject to assessment, as indicated by the records in the City Assessor's Office as shown on the general tax roll of the City, at least (10) full days before the time of said hearing, said notice to be mailed to the addresses shown on said general tax rolls of the City.
7. The notice of said hearing to be published and mailed shall be in substantially the following form:

NOTICE OF SPECIAL ASSESSMENT HEARING
CITY OF OWOSSO, MICHIGAN

TO THE OWNERS OF THE FOLLOWING DESCRIBED PROPERTY:

TAKE NOTICE that the City Council intends to acquire and construct the following described public improvement:

Seventh Street, a Public Street, from Oliver Street to King Street
Street Resurfacing

The City Council intends to defray apart or all of the cost of the above-described public improvement by special assessment against the above described property.

TAKE FURTHER NOTICE that City Council has caused plans and an estimate of the cost and report for the above described public improvement to be prepared and made by the City Manager and the same is on file with the City Clerk and available for public examination.

TAKE FURTHER NOTICE that the City Council will meet at the Owosso City Hall Council Chambers, Owosso, Michigan at 7:30 o'clock p.m. on Monday, December 17, 2018 for the purpose of hearing any person to be affected by the proposed public improvement.

Intent to Apply – State Revolving Fund. Authorize submittal of an Intent to Apply to the Michigan Department of Environmental Quality to initiate review of eligible wastewater infrastructure projects for State Revolving Fund financing as follows:

RESOLUTION NO. 181-2018

**AUTHORIZATION TO SUBMIT TO THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY
(MDEQ) THE INTENT TO APPLY FORM FOR STATE REVOLVING FUND (SRF) FINANCING OF
WASTEWATER INFRASTRUCTURE PROJECTS**

WHEREAS, the city of Owosso, Shiawassee County, Michigan, desires to consider SRF financing of upcoming wastewater infrastructure capital projects; and

WHEREAS, the Director of Public Services & Utilities desires to prepare and submit the necessary Intent to Apply form to initiate MDEQ review of eligible projects for SRF loan financing.

NOW THEREFORE BE IT RESOLVED by the city council of the city of Owosso, Shiawassee County, Michigan that:

- FIRST: The city of Owosso has heretofore determined that it is advisable, necessary and in the public interest to submit to the MDEQ the necessary ITA form required to initiate SRF project eligibility and planning for wastewater capital infrastructure needs.
- SECOND: The Director of Public Services & Utilities is authorized to prepare and submit the required ITA form, and to meet with the MDEQ to review eligible capital projects for SRF loan financing.
- THIRD: Proposed SRF projects for plan development will be brought before city council for consideration and/or approval.

Boards and Commissions Appointments. Approve the following Mayoral Boards and Commissions appointments:

Name	Board/Commission	Term Expires
Amber Fuller*	Board of Review	12-31-2023
Jerry Haber	City of Owosso Employees' Retirement System Board of Trustees	11-14-2022
Christopher Eveleth*	Zoning Board of Appeals	11-14-2022

* Indicates reappointment

Warrant No. 564. Authorize Warrant No. 564 as follows:

Vendor	Description	Fund	Amount
Michigan Municipal League Workers' Compensation Fund Inc.	Worker's Compensation Insurance-3 of 4 for FY 18/19	Various	\$20,230.00

Motion supported by Mayor Pro-Tem Osika.

Roll Call Vote.

AYES: Councilmembers Law, Fear, Mayor Pro-Tem Osika, Councilmembers Pidek, Haber, Bailey, and Mayor Eveleth.

NAYS: None.

ITEMS OF BUSINESS

2017-2018 Audit Acceptance

Motion by Councilmember Pidek to approve the following resolution accepting and placing on file the City of Owosso Financial Report for the Fiscal Year Ended June 30, 2018.

RESOLUTION NO. 182-2018

**RESOLUTION ACCEPTING AND PLACING ON FILE
THE CITY OF OWOSSO, MICHIGAN FINANCIAL REPORT
WITH ADDITIONAL INFORMATION
FOR THE FISCAL YEAR ENDED JUNE 30, 2018**

WHEREAS, the city of Owosso is required by the laws of the state of Michigan to annually have an independent audit performed in accordance with generally accepted auditing standards; and

WHEREAS, the city of Owosso employed Gabridge and Company PLC, certified public accountants, to audit the financial records of the city of Owosso and such audit has been completed and is presented this date to the city council.

NOW THEREFORE BE IT RESOLVED by the city council of the city of Owosso, Shiawassee County, Michigan that:

FIRST: The *City of Owosso, Michigan Financial Report with Additional Information for the Fiscal Year Ended June 30, 2018*, attached hereto and made a part hereof as Exhibit A, is hereby accepted and placed on file.

SECOND: A copy of the *City of Owosso, Michigan Financial Report with Additional Information for the Fiscal Year Ended June 30, 2018* will be maintained on file in the office of the city clerk for public examination, a copy will be placed in the Shiawassee District Library Owosso Branch for public examination, and copies will be sent to those required by law and agreement.

Motion supported by Councilmember Fear.

Roll Call Vote.

AYES: Councilmembers Pidek, Bailey, Fear, Law, Haber, Mayor Pro-Tem Osika, and Mayor Eveleth.

NAYS: None.

Water/Sewer Service Deposit Schedule Adjustment

City Manager Henne started the discussion noting that the proposed increase was borne out of necessity as the amount of the deposit had not been increased in 25 years, nor did it reflect the change from monthly billing to quarterly billing. The average bill runs about \$207.00 per quarter and the deposit is simply not enough to cover what is owed when people skip out. The deposit proposed is intended only to cover the average bill.

Several Councilmembers commented on the hardship renters would face if the deposit was raised to the suggested amount of \$350.00, saying those that rent are typically financially strapped already. An amount equal to three times the current deposit amount of \$75.00 was proposed.

Motion by Councilmember Law to authorize the following resolution adjusting the Water/Sewer Service Deposit Schedule to reflect past rate increases and the fact the City has switched to a quarterly billing cycle.

RESOLUTION NO. 183-2018

CITY OF OWOSSO WATER/SEWER SERVICE DEPOSIT SCHEDULE

The Owosso City Council establishes the following schedule of deposits for water and/or sewer service accounts where a tenant is solely responsible for payment of water and/or sewer service charges and for other cases as provided in Section 34-251, Collection, of the Owosso City Code. Such schedule shall not be retroactive, but shall apply to all cases requiring a deposit on or after January 1, 2019.

1. "Affidavit" Tenant Accounts: In cases where the City is properly notified in accordance with Act No. 94 of the Public Acts of Michigan of 1933, as amended, that a tenant is responsible for water or sewer service charges, no such service shall be commenced or continued to such premises until there has been deposited with the City an amount as follows:
 - a. \$225.00 - in the case of a single residential unit.
 - b. An amount equal to three months charges as estimated by the public services director based on the water meter size and estimated consumption for other than single unit residential services but no less than \$225.00.
2. "Nonaffidavit" Tenant Accounts: In other cases where the account is billed to a tenant without notification in accordance with Act No. 94 (i.e. when the property may still be lien for unpaid charges), a \$225.00 deposit will be required prior to initiation of service.
3. Deposit following service shutoff for nonpayment: Where the water service to any premise is turned off to enforce the payment of water or sewer service charges, the water service shall not be recommenced until an amount as in 1. above has been deposited with the City.
4. Deposits for out-of-town customers: For any new customer outside the corporate limits of the City of Owosso, water service shall not be commenced or continued until an amount as in 1. above has been deposited with the City.
5. Other: In any other case where, in the discretion of the public services director, the collection of charges for water or sewer service may be difficult or uncertain, the director may require a similar deposit.

Such deposits may be applied against any delinquent water or sewer service charges and the application thereof shall not affect the right of the public services department to turn off the water service and/or sewer service, to any premises for any delinquency thereby satisfied.

No such deposit shall bear interest and such deposit, or any remaining balance thereof, shall be returned to the customer making the same when he or she shall discontinue receiving water and sewer service. In the case of deposits under 4 or 5 above, the deposit may be refunded whenever a customer has promptly paid all water and sewer service charges for at least two full years and has otherwise established satisfactory credit in the municipality. In the case of deposits under 3 above, the deposit may be refunded whenever a customer has promptly paid all water and sewer service charges for at least one full year and has otherwise established satisfactory credit in the municipality.

Motion supported by Councilmember Bailey.

Roll Call Vote.

AYES: Councilmembers Fear, Pidek, Law, Haber, Bailey, Mayor Pro-Tem Osika, and Mayor Eveleth.

NAYS: None.

Councilmember Bailey inquired how the change in the deposit amount would be communicated to the public. City Manager Henne indicated the City would advertise via social media and reach out to the landlords' association. Otherwise, people would be notified of the change on a case by case basis.

Tax-Foreclosed Property Consideration

City Manager Henne indicated the two properties in question are literally only a couple of feet wide and would be given to the adjacent land owners as appropriate.

Motion by Mayor Pro-Tem Osika to accept listed tax-foreclosed property(s) that did not sell at the State tax sale in September 2018 as follows:

RESOLUTION NO. 184-2018

RESOLUTION ACCEPTING THE TRANSFER OF ALL UNSOLD TAX REVERTED PROPERTIES FROM THE STATE OF MICHIGAN TO THE CITY OF OWOSSO

WHEREAS, the city of Owosso received from the state of Michigan a list of parcels of property in the city of Owosso foreclosed for unpaid property taxes pursuant to Public Act 123 of 1999; and

WHEREAS, under Section 78m(6) of said Act, being MCL 211.78m(6) the title to the listed parcels will be automatically transferred to the city of Owosso on December 30, 2018, unless the city objects to the transfer of all or any parcel before the transfer is made.

NOW, THEREFORE, BE IT RESOLVED the city of Owosso does not object to the transfer of title to the city of the following tax foreclosed parcels:

050-240-003-025-00	SOUTH 19" OF LOT 14 BLK C, C L GOODHUES SUB OUTLOT 2
050-710-000-007-00	COM AT NE COR OUTLOT 1 TH N'LY AL'G E LN SD OUTLOT EXTENDED N 4.6' TH N 65° W TO W LN SD O'LOT EXTENDED N TH S 17' TO W COR OUTLOT TH ELY ALG N LN OUTLOT TO BEG J L WRIGHTS ADD, NW 1/4 SEC 19, T7N-R3E

Motion supported by Councilmember Law.

Roll Call Vote.

AYES: Councilmembers Law, Fear, Bailey, Mayor Pro-Tem Osika, Councilmembers Haber, Pidek, and Mayor Eveleth.

NAYS: None.

Recreational Marijuana Presentation & Consideration of Moratorium

City Manager Henne gave a presentation providing an overview of Proposal 1, the potential effects of Proposal 1 on the City, options for the City, and recommendations. He explained that recreational marijuana use will be legal in Michigan as of December 6th. The new law treats recreational marijuana much like alcohol and prohibits smoking in public, driving under the influence, possession of marijuana on school property or federal property, and showing up to work high. It also dictates the State has one year from the date it becomes legal to develop rules and regulations for recreational marijuana facilities. And unlike the medical marijuana law, it requires municipalities to formally opt out if they do not want recreational marijuana facilities located within their jurisdiction.

Mr. Henne expressed concern that without knowing when the State plans to come out with their rules governing recreational marijuana facilities the City may be caught unprepared. And without our own rules in place the City could be forced to allow the establishment of recreational marijuana facilities in undesirable locations.

At the end of his presentation Mr. Henne made two recommendations:

1. That an ordinance be drafted formally prohibiting recreational marijuana use in public places.
2. That a temporary moratorium prohibiting the establishment of recreational marijuana facilities be adopted to allow the State and the City to develop rules governing said facilities.

Council discussion ensued. The Mayor expressed a reluctance to establish a moratorium but said he could see the City Manager's point about being unprepared. Councilmember Bailey suggested the moratorium have a definitive end date. Councilmember Fear said she would like to get the perspective of the Planning Commission prior to acting on a moratorium. Councilmember Law suggested action on a moratorium be postponed until the December 17th meeting to allow for its assessment by the Planning Commission.

Councilmember Pidek asked whether membership clubs could sell marijuana to their members like alcohol. He also asked if a study had been done on the budgetary implications of recreational marijuana. Public Safety Director Kevin M. Lenkart indicated he would look for information from other states that have legalized recreational use.

Council agreed to postpone the consideration of a moratorium on the establishment of recreational marijuana facilities and referred the matter to the Planning Commission for recommendation.

COMMUNICATIONS

Cheryl A. Grice, Finance Director. Revenue & Expenditure Report – October 2018.
Parks & Recreation Commission. Minutes of October 24, 2018.
Downtown Development Authority/Main Street. Minutes of November 7, 2018.
Shiawassee Firefighter Memorial Board. Minutes of November 17, 2018.

CITIZEN COMMENTS AND QUESTIONS

Tom Manke, editor- Facebook.com/FriendsAndNeighborsOwosso, cautioned the City against arresting someone for having any amount of THC in their blood saying he believed the medical marijuana law allows patients to legally have THC in their blood.

Eddie Urban, 601 Glenwood Avenue, spoke about his concerns with the new recreational marijuana law. He also mentioned that he went to the Christmas tree lighting at the County Court House last weekend.

Pastor Nathan Struble, First Free Methodist Church, said his family had hosted 3 college students from Illinois over the Thanksgiving holiday and they were completely delighted by the beautiful lights downtown.

Councilmember Law reminded all present of the meet and greet scheduled for December 5th at 6:30 p.m. next to House of Wheels for those interested in getting the Westown CIA back up and running.

City Manager Henne thanked Mr. Manke for his clarification of the marijuana laws.

Councilmember Bailey thanked the staff for their work in getting the new Councilmembers up to speed and keeping everyone informed.

NEXT MEETING

Monday, December 17, 2018

BOARDS AND COMMISSIONS OPENINGS

Building Board of Appeals – Alternate - term expires June 30, 2019
Building Board of Appeals – Alternate - term expires June 30, 2021
Brownfield Redevelopment Authority – term expires June 30, 2022
Historical Commission – term expires December 31, 2020
Historical Commission – term expires December 31, 2021
Parks & Recreation Commission – term expires June 30, 2019
Zoning Board of Appeals - Alternate – term expires June 30, 2021

ADJOURNMENT

Motion by Councilmember Bailey for adjournment at 9:08 p.m.

Motion supported by Councilmember Fear and concurred in by unanimous vote.

Christopher T. Eveleth, Mayor

Amy K. Kirkland, City Clerk



MEMORANDUM

301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ WWW.CI.OWOSSO.MI.US

DATE: December 11, 2018

TO: Owosso City Council

FROM: Glenn Chinavare, Director of Public Services & Utilities

SUBJECT: Abrey Avenue Resurfacing – Special Assessment Resolution No 3

When deemed necessary, the city conducts a street improvement program. Public streets are selected for inclusion in the program either by citizen initiated petition or by selection of the city. **Abrey Street, from Melinda Avenue to Allendale Avenue**, is proposed by the city for street resurfacing. Property owners are then specially assessed to cover the cost of the proposed improvement. Past practice has been to assess property owners along the street 40% of the proposed benefit and the remaining 60% to the community at large. Each property owner can pay an assessment in one lump sum or in installments over the multi-year period (the period being determined by the amount of the average assessment).

The special assessment process has five steps, each having its own purpose and accompanying resolution.

Step One/Resolution No. 1 identifies the special assessment district(s), directs the city manager to estimate project costs and the amounts to be specially assessed, and determines the life of the proposed improvements. Resolution No. 1 for the proposed improvement was approved by City Council at its **August 6, 2018** meeting.

Step Two/Resolution No. 2 sets the date for the hearing of necessity on the projects. It directs notices to be sent to each affected property owner detailing the proposed project, notifying them of the public hearing date, and the estimated amount of their assessment. Resolution No. 2 for the proposed improvement was approved by City Council at its **December 3, 2018** meeting.

Step Three/Resolution No. 3 documents the hearing of necessity. This hearing provides affected residents with the opportunity to comment on whether they feel the project is necessary and of the proper scale. After hearing citizen comment on the project the city council has three options: if they agree that the project should proceed as proposed, the district is established and staff is directed to go on with the next steps of the proposed project, including obtaining bids; if they feel the project should go forward, but with some adjustments they may direct staff to make those adjustments and proceed; if they feel the project is not warranted and should not proceed at all they would simply fail to act on Resolution No. 3, effectively stopping the process. Hearing of necessity will be held at the scheduled council meeting for **December 17, 2018**.

Step Four/Resolution No. 4 takes place after the bids are received. Estimated assessment amounts are adjusted if necessary to reflect the actual cost as dictated by the bids received. A second public hearing is set to allow property owners to comment on their particular assessment. Each property owner is sent a second notice containing the date and time of the public hearing and the amount of the proposed assessment for their property.

Step Five/Resolution No. 5 documents the second public hearing, finalizes the special assessment roll and sets the terms of payment. This public hearing is designed to allow affected citizens the

opportunity to argue whether or not the amount of their assessment is fair and equitable in relation to the benefit they receive from the project. If, after hearing citizen comment, the council decides adjustments need to be made to the assessment roll they may do so. Alternately, if they feel all the assessments are fair and equitable they may pass the resolution as written.

Tonight the council will be holding a public hearing to receive citizen comments regarding the necessity of the proposed project. At the conclusion of the hearing council will consider approval of Resolution No. 3 authorizing the project to proceed. Residents that would be affected by the project have been sent a notification for the public hearing, a description of the work being proposed, and an estimate of the special assessment for their property.

Staff recommends authorization of Resolution No. 3 for the following district:

Special Assessment District No. 2019-01

Abrey Street, a Public Street, from Melinda Avenue to Allendale Avenue

RESOLUTION NO.

**AUTHORIZING SPECIAL ASSESSMENT RESOLUTION NO. 3
ESTABLISHING SPECIAL ASSESSMENT DISTRICT NO. 2019-01
ABREY STREET, FROM MELINDA AVENUE TO ALLENDALE AVENUE
FOR STREET RESURFACING**

WHEREAS, the City Council, after due and legal notice, has met and [there being no one to be heard regarding / having heard all persons to be affected by](#) the proposed public improvement more particularly hereinafter described; and

WHEREAS, the City Council deems it advisable and necessary to proceed with said public improvement as more particularly hereinafter described.

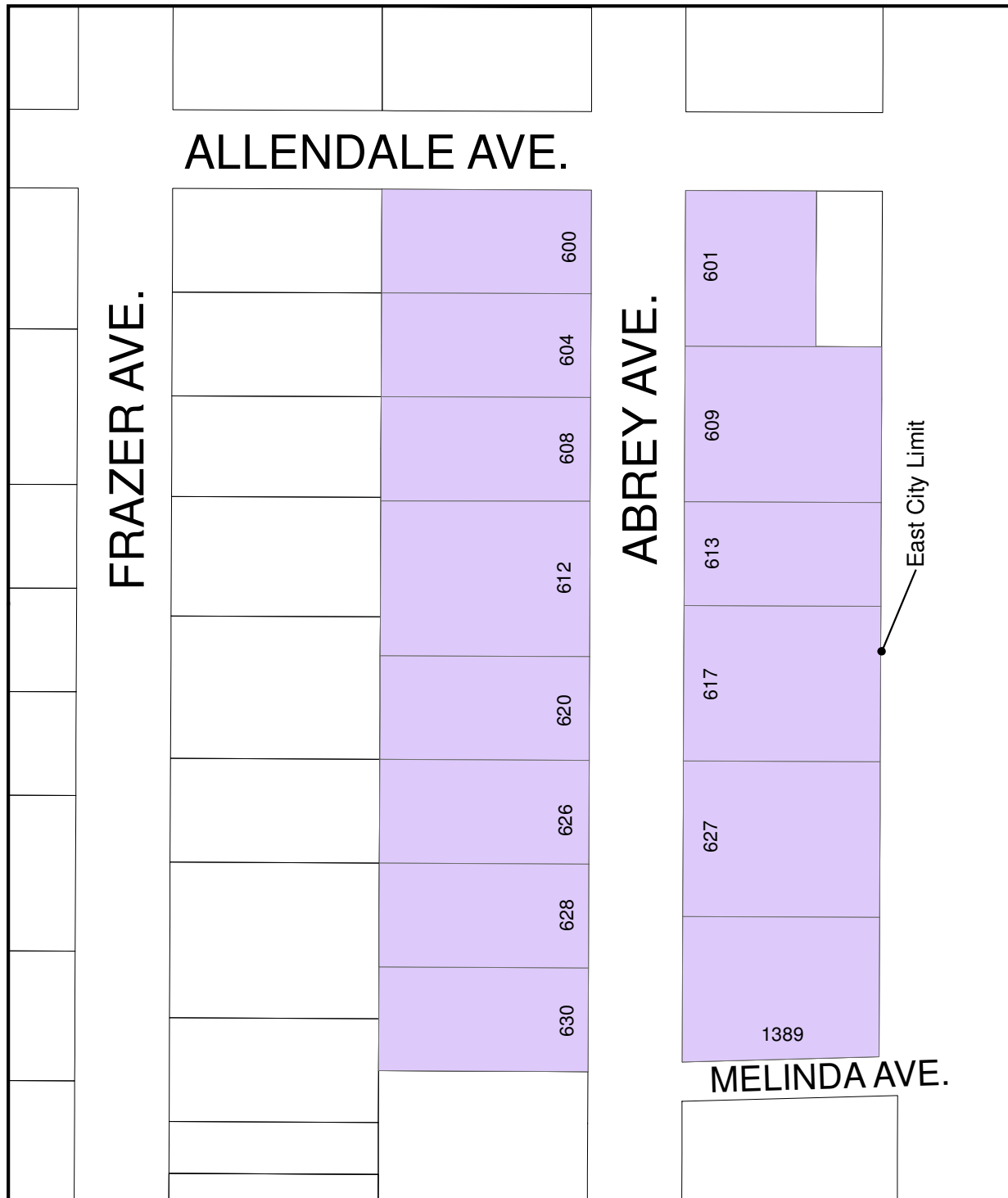
NOW, THEREFORE, BE IT RESOLVED THAT:

1. The City Council hereby determines to make and proceed with the following described public improvement and to defray a part or the whole cost, as more particularly hereinafter provided, by special assessment upon the property specially benefited:

ABREY STREET, A PUBLIC STREET, FROM MELINDA AVENUE TO ALLENDALE AVENUE
STREET RESURFACING

2. The City Council hereby approves the plans for the aforesaid public improvement as prepared and presented by the City Manager and determines the estimated cost of said public improvement to be \$71,721.18 and approves said estimated cost and determines that the estimated life of said public improvement is fifteen (15) years.
3. The City Council determines that of said total estimated cost, the sum of \$17,212.23 be paid by special assessment upon the property specially benefited, as more particularly hereinafter described.
4. The City Council hereby designates the following described property as the special assessment district upon which the special assessment shall be levied:

Abrey Street, a Public Street, from Melinda Avenue to Allendale Avenue
for street resurfacing
5. The City Assessor shall prepare a special assessment roll including all lots and parcels of land within the special assessment district herein designated, and the Assessor shall assess to each such lot or parcel of land such relative portion of the whole sum to be levied against all lands in the special assessment district as the benefit to such lot or parcel of land bears to the total benefits to all lands in such district.
6. When the Assessor shall have completed the assessment roll, he shall file the special assessment roll with the City Clerk for presentation to the City Council.





City of Owosso

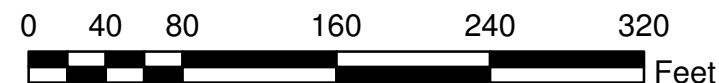
Proposed Special Assessment

Abrey Avenue
from Melinda Ave. to Allendale Ave.



Legend

-  Special Assessment Parcels
-  City Parcels 2018 Edition
- 501 Street Address Number



1 inch = 100 feet

HISTORY

Reso No. 2 Abrey Street – Melinda to Allendale

- This project is part of the original five-year plan.
- Our records indicate last work done was 1984.
- Records are inaccurate as to existing pavement section. Recent pavement/soil cores indicate 1" chip-seal like product over sandy gravel base.
- Existing road is 20-22' wide. Proposed road is 22' wide with two 11'-wide travel lanes, no shoulders. Preliminary plans are available.
- Traffic volumes unknown, assume about 800 vehicles per day.
- Work scope is crush (6" Depth)/stabilize(4" Depth)/ and cap with 4" asphalt. This treatment is selected as most economical means to deliver a quality road.
- New road will be higher than existing road; all driveways and street approaches will be adjusted to meet new road elevation.
- Work schedule TBD but should be sometime between July-September, 2019.
- Life expectancy is 15 years.

ENGINEER'S ESTIMATE OF PROBABLE COST FOR ABREY AVE, MELINDA TO ALLENDALE

DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT	ELLIGIBLE AMOUNT	CITY COST 60 PERCENT	ASSESSMENT AT 40% RESIDENTIAL	ASSESSMENT AT 40% COMMERCIAL
MOBILIZATION, MAX_____	LSUM	1	\$ 3,000.00	\$ 3,000.00	\$ 3,000.00	\$ 1,800.00	\$ 1,200.00	\$ 1,200.00
PAVT, REM	SYD	8	\$ 8.00	\$ 64.00	\$ -	\$ -		\$ -
EROSION CONTROL, INLET PROTECTION, FABRIC DROP	EA	6	\$ 100.00	\$ 600.00	\$ 600.00	\$ 360.00	\$ 240.00	\$ 240.00
TRENCHING, MODIFIED	STA	10	\$ 300.00	\$ 3,000.00	\$ 450.00	\$ 270.00	\$ -	\$ 180.00
DR STRUCTURE, TEMP LOWERING	EA	5	\$ 250.00	\$ 1,250.00	\$ 2,000.00	\$ 1,200.00	\$ 800.00	\$ 800.00
MAILBOX, POST	EA	7	\$ 125.00	\$ 875.00	\$ -	\$ -	\$ -	\$ -
AGGREGATE BASE, 9 INCH, MODIFIED	SYD	173	\$ 15.00	\$ 2,595.00	\$ 570.90	\$ 342.54	\$ -	\$ 228.36
HMA BASE CRUSHING AND SHAPING, MODIFIED (6")	SYD	1475	\$ 2.75	\$ 4,056.25	\$ 1,338.56	\$ 803.14	\$ -	\$ 535.43
ASPHALT CEMENT STABALIZED BASE COURSE (4")	SYD	1475	\$ 2.40	\$ 3,540.00	\$ 1,770.00	\$ 1,062.00	\$ -	\$ 708.00
ASPHALT CEMENT BINDER	GAL	2359	\$ 3.60	\$ 8,492.40	\$ 4,246.20	\$ 2,547.72	\$ -	\$ 1,698.48
APPROACH, CL II, LM	TON	10	\$ 20.00	\$ 200.00	\$ -	\$ -	\$ -	\$ -
DR STRUCTURE COVER, ADJ, CASE 1	EA	5	\$ 475.00	\$ 2,375.00	\$ 2,375.00	\$ 1,425.00	\$ 950.00	\$ 950.00
DR STRUCTURE COVER, TYPE EJ 1060	EA	1	\$ 450.00	\$ 450.00	\$ 450.00	\$ 270.00	\$ 180.00	\$ 180.00
DR STRUCTURE COVER, TYPE EJ 1060 W/ TYPE M1 FLAT GRATE	EA	3	\$ 450.00	\$ 1,350.00	\$ 1,350.00	\$ 810.00	\$ 540.00	\$ 540.00
DR STRUCUTRE COVER, TYPE EJ 1120 W/ SOLID GASKET SEALED COVER	EA	1	\$ 650.00	\$ 650.00	\$ 650.00	\$ 390.00	\$ 260.00	\$ 260.00
HMA, 13A (4")	TON	324	\$ 70.00	\$ 22,680.00	\$ 22,680.00	\$ 13,608.00	\$ 9,072.00	\$ 9,072.00
GATE BOX, ADJ, CASE 1	EA	1	\$ 250.00	\$ 250.00	\$ 250.00	\$ 150.00	\$ 100.00	\$ 100.00
MINOR TRAF DEVICES	LSUM	1	\$ 500.00	\$ 500.00	\$ 500.00	\$ 300.00	\$ 200.00	\$ 200.00
BARRICADE, TYPE III, HIGH INTENSITY, FURN AND OPER	EA	1	\$ 100.00	\$ 100.00	\$ -	\$ -	\$ -	\$ -
PLASTIC DRUM HIGH INTENSITY, FURN AND OPER	EA	10	\$ 150.00	\$ 1,500.00	\$ -	\$ -	\$ -	\$ -
SIGN, TYPE B, TEMP, PRISMATIC, FURN AND OPER	SFT	48	\$ 5.00	\$ 240.00	\$ -	\$ -	\$ -	\$ -
MISCELLANEOUS WORK ITEMS	LSUM	1	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00	\$ 1,200.00	\$ 800.00	\$ 800.00
SUB TOTALS				\$ 59,767.65	\$ 44,230.66	\$ 26,538.40	\$ 14,342.00	\$ 17,692.27
INDIRECT COSTS:								
ENGINEERING @ 15% OF SUB TOTAL				\$ 8,965.15	\$ 6,634.60	\$ 3,980.76	\$ 2,151.30	\$ 2,653.84
ADMINISTRATIVE @ 5% OF SUB TOTAL				\$ 2,988.38	\$ 2,211.53	\$ 1,326.92	\$ 717.10	\$ 884.61
GRAND TOTALS				\$ 71,721.18	\$ 53,076.80	\$ 31,846.08	\$ 17,210.40	\$ 21,230.72

ABREY AVENUE FROM MELINDA TO ALLENDALE**SPECIAL ASSESSMENT ROLL**ENGINEER'S DETERMINATION OF ASSESSABLE AMOUNT:

TOTAL ASSESSABLE FRONT FEET	1025.15
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CALCULATING ASSESSABLE FRONT FOOT RATE AND AMOUNTS:

PROPERTY TYPE	RESIDENTIAL PROPERTY	COMMERCIAL PROPERTY	TOTAL
TOTAL ASSEMENT PER TYPE	\$53,076.80	\$53,076.80	
CITY SHARE $\geq 60\%$	\$35,866.40	\$31,846.08	
PROPERTY SHARE @ $\leq 40\%$	\$17,210.40	\$21,230.72	
ASSESSABLE FRONT FOOT RATE: PROP SHARE/ TOTAL FRONT FOOTAGE	\$16.79	\$20.71	
TOTAL FRONT FEET PER TYPE	1025.15	0.00	
TOTAL AMOUNT OF ASSESSMENT PER TYPE:	\$17,210.40	\$0.00	\$17,210.40

SUMMARY: SPECIAL ASSESSMENT AMOUNTS PER SIDE OF STREET:

EAST SIDE	\$8,506.61
WEST SIDE	\$8,705.62
TOTAL SPECIAL ASSESSMENT	<hr/> \$17,212.23

ABREY AVE FROM MELINDA TO ALLENDALE

ESTIMATED SPECIAL ASSESSMENT ROLL

EAST SIDE

ADDRESS NO.	STREET	PROPERTY OWNER NAME	ROLL NUMBER	FRONT FOOTAGE	CORNER LOT DISCOUNT	ASSESSABLE FRONT FEET	FRONT FOOT RATE	AMOUNT OF ASSESSMENT	PROPERTY TYPE
1389	MELINDA	WHITE, RALPH J	010-030-011	92.53	0.75	69.40	\$ 16.79	\$1,165.18	R1
627	ABREY	GRINNELL, RAYMOND	010-030-012	99	1	99.00	\$ 16.79	\$1,662.21	R1
617	ABREY	ROOT, LARRY M & DIANA M	010-030-005	99	1	99.00	\$ 16.79	\$1,662.21	R1
613	ABREY	SPEERS, ARTHUR J TRUST	010-030-006	66	1	66.00	\$ 16.79	\$1,108.14	R1
609	ABREY	SPEERS, ARTHUR J TRUST	010-030-007	99	1	99.00	\$ 16.79	\$1,662.21	R1
601	ABREY	BUSH, STEVEN M & CHRISTI	010-030-009	99	0.75	74.25	\$ 16.79	\$1,246.66	R1
				554.53		506.65		\$8,506.61	

WEST SIDE

ADDRESS NO.	STREET	PROPERTY OWNER NAME	ROLL NUMBER	FRONT FOOTAGE	CORNER LOT DISCOUNT	ASSESSABLE FRONT FEET	FRONT FOOT RATE	AMOUNT OF ASSESSMENT	PROPERTY TYPE
630	ABREY	WHALEN, CHRISTOPHER & K	010-032-010	40	1	40.00	\$ 16.79	\$671.60	R1
628	ABREY	CUMMINGS, MYRON	010-032-011	66	1	66.00	\$ 16.79	\$1,108.14	R1
626	ABREY	CUMMINGS, MYRON	010-032-012	66	1	66.00	\$ 16.79	\$1,108.14	R1
620	ABREY	CLOUD, MARIAH A	010-032-013	66	1	66.00	\$ 16.79	\$1,108.14	R1
612	ABREY	CORDS, EDWARD	010-032-014	99	1	99.00	\$ 16.79	\$1,662.21	R1
608	ABREY	MOWEN, TERRY L	010-032-015	66	1	66.00	\$ 16.79	\$1,108.14	R1
604	ABREY	CUMMINGS, MYRON W	010-032-016	66	1	66.00	\$ 16.79	\$1,108.14	R1
600	ABREY	K&E ELDRED RENTALS LLC	010-032-017	66	0.75	49.50	\$ 16.79	\$831.11	R1
				535		518.50		\$8,705.62	

TOTAL ASSESSABLE FRONT FOOTAGE

1025.15



MEMORANDUM

301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ WWW.CI.OWOSSO.MI.US

DATE: December 11, 2018

TO: Owosso City Council

FROM: Glenn Chinavare, Director of Public Services & Utilities

SUBJECT: Seventh Street Resurfacing – Special Assessment Resolution No 3

When deemed necessary, the city conducts a street improvement program. Public streets are selected for inclusion in the program either by citizen initiated petition or by selection of the city. **Seventh Street, from Oliver Street to King Street**, is proposed by the city for street resurfacing. Property owners are then specially assessed to cover the cost of the proposed improvement. Past practice has been to assess property owners along the street 40% of the proposed benefit and the remaining 60% to the community at large. Each property owner can pay an assessment in one lump sum or in installments over the multi-year period (the period being determined by the amount of the average assessment).

The special assessment process has five steps, each having its own purpose and accompanying resolution.

Step One/Resolution No. 1 identifies the special assessment district(s), directs the city manager to estimate project costs and the amounts to be specially assessed, and determines the life of the proposed improvements. Resolution No. 1 for the proposed improvement was approved by City Council at its **August 6, 2018** meeting.

Step Two/Resolution No. 2 sets the date for the hearing of necessity on the projects. It directs notices to be sent to each affected property owner detailing the proposed project, notifying them of the public hearing date, and the estimated amount of their assessment. Resolution No. 2 for the proposed improvement was approved by City Council at its **December 3, 2018** meeting.

Step Three/Resolution No. 3 documents the hearing of necessity. This hearing provides affected residents with the opportunity to comment on whether they feel the project is necessary and of the proper scale. After hearing citizen comment on the project the city council has three options: if they agree that the project should proceed as proposed, the district is established and staff is directed to go on with the next steps of the proposed project, including obtaining bids; if they feel the project should go forward, but with some adjustments they may direct staff to make those adjustments and proceed; if they feel the project is not warranted and should not proceed at all they would simply fail to act on Resolution No. 3, effectively stopping the process. Hearing of necessity will be held at the scheduled council meeting for **December 17, 2018**.

Step Four/Resolution No. 4 takes place after the bids are received. Estimated assessment amounts are adjusted if necessary to reflect the actual cost as dictated by the bids received. A second public hearing is set to allow property owners to comment on their particular assessment. Each property owner is sent a second notice containing the date and time of the public hearing and the amount of the proposed assessment for their property.

Step Five/Resolution No. 5 documents the second public hearing, finalizes the special assessment roll and sets the terms of payment. This public hearing is designed to allow affected citizens the

opportunity to argue whether or not the amount of their assessment is fair and equitable in relation to the benefit they receive from the project. If, after hearing citizen comment, the council decides adjustments need to be made to the assessment roll they may do so. Alternately, if they feel all the assessments are fair and equitable they may pass the resolution as written.

Tonight the council will be holding a public hearing to receive citizen comments regarding the necessity of the proposed project. At the conclusion of the hearing council will consider approval of Resolution No. 3 authorizing the project to proceed. Residents that would be affected by the project have been sent a notification for the public hearing, a description of the work being proposed, and an estimate of the special assessment for their property.

Staff recommends authorization of Resolution No. 3 for the following district:

Special Assessment District No. 2019-11
Seventh Street, Public Street, from Oliver Street to King Street

RESOLUTION NO.

**AUTHORIZING SPECIAL ASSESSMENT RESOLUTION NO. 3
ESTABLISHING SPECIAL ASSESSMENT DISTRICT NO. 2019-11
SEVENTH STREET, FROM OLIVER STREET TO KING STREET
FOR STREET RESURFACING**

WHEREAS, the City Council, after due and legal notice, has met and (there being no one to be heard regarding / having heard all persons to be affected by) the proposed public improvement more particularly hereinafter described; and

WHEREAS, the City Council deems it advisable and necessary to proceed with said public improvement as more particularly hereinafter described.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The City Council hereby determines to make and proceed with the following described public improvement and to defray a part or the whole cost, as more particularly hereinafter provided, by special assessment upon the property specially benefited:

SEVENTH STREET, A PUBLIC STREET, FROM OLIVER STREET TO KING STREET
FOR STREET RESURFACING

2. The City Council hereby approves the plans for the aforesaid public improvement as prepared and presented by the City Manager and determines the estimated cost of said public improvement to be \$206,972.40 and approves said estimated cost and determines that the estimated life of said public improvement is fifteen (15) years.
3. The City Council determines that of said total estimated cost, the sum of \$46,029.50 be paid by special assessment upon the property specially benefited, as more particularly hereinafter described.
4. The City Council hereby designates the following described property as the special assessment district upon which the special assessment shall be levied:

Seventh Street, a Public Street, from Oliver Street to King Street
for street resurfacing

5. The City Assessor shall prepare a special assessment roll including all lots and parcels of land within the special assessment district herein designated, and the Assessor shall assess to each such lot or parcel of land such relative portion of the whole sum to be levied against all lands in the special assessment district as the benefit to such lot or parcel of land bears to the total benefits to all lands in such district.
6. When the Assessor shall have completed the assessment roll, he shall file the special assessment roll with the City Clerk for presentation to the City Council.

Reso No. 2 Seventh Street – Oliver to King

- This project is part of the original five-year plan.
- Our records indicate last work done was 1964.
- Records are inaccurate as to existing pavement section. Recent pavement/soil cores indicate 3" asphalt over sandy gravel base.
- Existing road is 33' wide. Proposed road is same width. Traffic volumes about 1400 per day.
- Work scope is remove existing pavement and replace with 4.5" asphalt over crush limestone base and geotextile separator, along with select curb and gutter repair and ADA sidewalk ramp. Preliminary plans are available. This treatment is selected as most economical means to deliver a quality road.
- Work schedule TBD but should be sometime between April-July, 2019.
- Life expectancy is 20 years.






City of Owosso

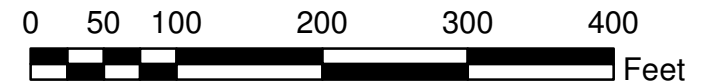
Proposed Special Assessment

Seventh Street
from Oliver Street to King Street



Legend

-  Special Assessment Parcels
-  City Parcels 2018 Edition
-  Shiawassee River
- 501 Street Address Number



1 inch = 132 feet

SEVENTH STREET ENGINEER'S ESTIMATE

WORK ITEM	UNIT	SEVENTH QUANTITIES	UNIT PRICE		AMOUNT	ELLIGIBLE AMOUNT	CITY COST 60 PERCENT	ASSESSMENT AT 40% RESIDENTIAL	ASSESSMENT AT 40% COMMERCIAL
MOBILIZATION, MAX_____	LSUM	1.00		\$	8,200.00	\$ 8,200.00	\$ 4,920.00	\$ 3,280.00	\$ 3,280.00
DR STRUCTURE, REM	EA	6.00	\$	350.00	\$ 2,100.00				
SEWER, REM, LESS THAN 24 INCH	LFT	70.00	\$	10.00	\$ 700.00				
CURB AND GUTTER, REM	LFT	728.00	\$	7.00	\$ 5,096.00	\$ 5,096.00	\$ 3,057.60	\$ 2,038.40	\$ 2,038.40
PAVT, REM	SYD	65.00	\$	8.00	\$ 520.00				
SIDEWALK, REM	SYD	23.00	\$	8.00	\$ 184.00				
SUBGRADE UNDERCUTTING, TYPE II	CYD	50.00	\$	25.00	\$ 1,250.00				
MACHINE GRADING, MOD	STA	14.00	\$	700.00	\$ 9,800.00				
EROSION CONTROL, INLET PROTECTION, FABRIC DROP	EA	5.00	\$	100.00	\$ 500.00	\$ 500.00	\$ 300.00	\$ 200.00	\$ 200.00
MAINTENANCE GRAVEL	TON	30.00	\$	25.00	\$ 750.00	\$ 750.00	\$ 450.00	\$ 300.00	\$ 300.00
DR STRUCTURE COVER, TEMP LOWERING	EA	2.00	\$	250.00	\$ 500.00	\$ 500.00	\$ 300.00	\$ 200.00	\$ 200.00
HMA SURFACE, REM	SYD	2678.00	\$	3.00	\$ 8,034.00	\$ 8,034.00	\$ 4,820.40	\$ 3,213.60	\$ 3,213.60
AGGREGATE BASE, 6 INCH, MOD	SYD	2678.00	\$	9.50	\$ 25,441.00				
GEOTEXTILE SEPARATOR	SYD	2678.00	\$	1.50	\$ 4,017.00				
SEWER, SDR-26, 10 INCH, TRENCH DET B-MOD	LFT	73.00	\$	40.00	\$ 2,920.00				
SEWER, SDR-26, 12 INCH, TRENCH DET B-MOD	LFT	70.00	\$	45.00	\$ 3,150.00				
DR STRUCTURE COVER, ADJ, CASE 1	EA	2.00	\$	475.00	\$ 950.00	\$ 950.00	\$ 570.00	\$ 380.00	\$ 380.00
DR STRUCTURE COVER, EJ 1060	EA	3.00	\$	600.00	\$ 1,800.00	\$ 1,800.00	\$ 1,080.00	\$ 720.00	\$ 720.00
DR STRUCTURE COVER, EJ 1120 W/ GASKET SEAL	EA	2.00	\$	650.00	\$ 1,300.00	\$ 1,300.00	\$ 780.00	\$ 520.00	\$ 520.00
DR STRUCTURE COVER, EJ 7000	EA	4.00	\$	700.00	\$ 2,800.00	\$ 2,800.00	\$ 1,680.00	\$ 1,120.00	\$ 1,120.00
DR STRUCTURE, 36 INCH DIA. MOD	EA	4.00	\$	1,400.00	\$ 5,600.00				
DR STRUCTURE, 48 INCH DIA. MOD	EA	3.00	\$	1,800.00	\$ 5,400.00				
HMA, 2C@3.0"	TON	442.00	\$	75.00	\$ 33,150.00	\$ 33,150.00	\$ 19,890.00	\$ 11,045.58	\$ 13,260.00
HMA, 5E3@ 1.5"	TON	221.00	\$	85.00	\$ 18,785.00	\$ 18,785.00	\$ 11,271.00	\$ 7,514.00	\$ 7,514.00
DRIVEWAY, NONREINF CONC, 6 INCH	SYD	65.00	\$	45.00	\$ 2,925.00				
CURB AND GUTTER, CONC, DET F4, MOD	LFT	728.00	\$	20.00	\$ 14,560.00	\$ 14,560.00	\$ 8,736.00	\$ 5,824.00	\$ 5,824.00
DETECTABLE WARNING SURFACE	LFT	10.00	\$	35.00	\$ 350.00				
SIDEWALK RAMP, CONC, 4 INCH	SFT	198.00	\$	5.00	\$ 990.00				
MINOR TRAF DEVICES	LSUM	1.00	\$	1,000.00	\$ 1,000.00	\$ 1,000.00	\$ 600.00	\$ 400.00	\$ 400.00
BARRICADE, TYPE III, HIGH INTENSITY, FURN & OPER	EA	2.00	\$	100.00	\$ 200.00				
PEDESTRIAN TYPE II BARRICADE, TEMP	EA		\$	150.00	\$ -				

SEVENTH STREET ENGINEER'S ESTIMATE

WORK ITEM	UNIT	SEVENTH QUANTITIES	UNIT PRICE	AMOUNT	ELLIGIBLE AMOUNT	CITY COST 60 PERCENT	ASSESSMENT AT 40% RESIDENTIAL	ASSESSMENT AT 40% COMMERCIAL
PLASTIC DRUM, HIGH INTENSITY, FURN & OPER	EA	25.00	\$ 100.00	\$ 2,500.00				
SIGN, TYPE B, TEMP, PRISMATIC, FURN & OPER	SFT	78.00	\$ 5.00	\$ 390.00				
TRAF REGULATOR CONTROL	LSUM	1.00	\$ 1,000.00	\$ 1,000.00				
TURF ESTABLISHMENT, PERFORMANCE	SYD	323.00	\$ 5.00	\$ 1,615.00				
VALVE BOX, ADJ	EA		\$ 200.00	\$ -				
MISCELLANEOUS WORK ITEMS	LSUM	1.00	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00	\$ 2,400.00	\$ 1,600.00	\$ 1,600.00
SUB TOTALS				\$ 172,477.00	\$ 101,425.00	\$ 60,855.00	\$ 38,355.58	\$ 40,570.00
ENGINEERING AT 15% ASSESSABLE COST				\$ 25,871.55	\$ 15,213.75	\$ 9,128.25	\$ 5,753.34	\$ 6,085.50
ADMINISTRATIVE AT 5% ASSESSABLE COST				\$ 8,623.85	\$ 5,071.25	\$ 3,042.75	\$ 1,917.78	\$ 2,028.50
GRAND TOTALS				\$ 206,972.40	\$ 121,710.00	\$ 73,026.00	\$ 46,026.70	\$ 48,684.00

SEVENTH STREET FROM OLIVER TO KING**SPECIAL ASSESSMENT ROLL**ENGINEER'S DETERMINATION OF ASSESSABLE AMOUNT:

TOTAL ASSESSABLE FRONT FEET 1247.75

CALCULATING ASSESSABLE FRONT FOOT RATE AND AMOUNTS:

PROPERTY TYPE

TOTAL ELIGIBLE FOR ASSESSMENT PER TYPE

CITY SHARE $\geq 60\%$ PROPERTY SHARE @ $\leq 40\%$

ASSESSABLE FRONT FOOT RATE: PROP SHARE/TOTAL FRONT FOOTAGE

TOTAL FRONT FEET PER TYPE

TOTAL AMOUNT OF ASSESSMENT PER TYPE:

RESIDENTIAL PROPERTY	COMMERCIAL PROPERTY	TOTAL
\$121,710.00	\$121,710.00	
\$75,683.30	\$73,026.00	
\$46,026.70	\$48,684.00	
\$36.89	\$39.02	
1247.75	0.00	
\$46,026.70	\$0.00	\$46,026.70

SUMMARY: SPECIAL ASSESSMENT AMOUNTS PER SIDE OF STREET:

WEST SIDE

EAST SIDE

TOTAL SPECIAL ASSESSMENT

\$23,420.54

\$22,608.96

\$46,029.50

SEVENTH ST FROM OLIVER TO KING

ESTIMATED SPECIAL ASSESSMENT ROLL

WEST SIDE

ADDRESS NO.	STREET	PROPERTY OWNER NAME	ROLL NUMBER	FRONT FOOTAGE	CORNER LOT DISCOUNT	ASSESSABLE FRONT FEET	FRONT FOOT RATE	AMOUNT OF ASSESSMENT	PROPERTY TYPE
1202	W OLIVER	SMITH, BETTY J	670-006-005	142.5	0.75	106.88	\$36.89	\$3,942.62	R1
613	SEVENTH	VREIBEL, DAVID M & CAROL R	670-006-003	76.5	1	76.50	\$36.89	\$2,822.09	R1
617	SEVENTH	MATZNICK, DENNIS A & SUSAN	670-006-002	66	1	66.00	\$36.89	\$2,434.74	R1
625	SEVENTH	BRUFF, ROBERT H & JACQUELINE M TRUST	670-006-001	132	1	132.00	\$36.89	\$4,869.48	R1
635	SEVENTH	VACHHANI, DENISE L TRUST	670-006-004	253.5	1	253.50	\$36.89	\$9,351.62	R1
				670.5		634.88		\$23,420.54	

EAST SIDE

ADDRESS NO.	STREET	PROPERTY OWNER NAME	ROLL NUMBER	FRONT FOOTAGE	CORNER LOT DISCOUNT	ASSESSABLE FRONT FEET	FRONT FOOT RATE	AMOUNT OF ASSESSMENT	PROPERTY TYPE
1118	W OLIVER	JORDAN, DAVID	670-005-015	142.5	0.75	106.88	\$36.89	\$3,942.62	R1
616	SEVENTH	KITCHEN, MARY ANN	670-005-010	209	1	209.00	\$36.89	\$7,710.01	R1
626	SEVENTH	BRUFF, BRIAN C	670-005-007	66	1	66.00	\$36.89	\$2,434.74	R1
630	SEVENTH	CLAYTON, DANIEL R & VICKIE A TRUST	670-005-006	66	1	66.00	\$36.89	\$2,434.74	R1
634	SEVENTH	MATYOW, CHARLES & MARIAN	670-005-003	66	1	66.00	\$36.89	\$2,434.74	R1
1111	W KING	CAMPBELL, MARY ALICE TRUST	670-005-002	132	0.75	99.00	\$36.89	\$3,652.11	R1
				681.5		612.88		\$22,608.96	

TOTAL ASSESSABLE FRONT FOOTAGE

1247.75



301 W. MAIN • OWOSSO, MICHIGAN 48867-2958 • (989) 725-0599 • FAX (989) 723-8854

MEMORANDUM

DATE: December 4, 2018

TO: Mayor Eveleth, City Council and City Manager Henne

FROM: Treena Chick, Assessor

RE: 2019 Poverty Exemption Policy, Guidelines and Thresholds

As per the provisions of PA 390 of 1994 and further amended by PA 620 of 2002, local governing bodies are required to set income levels for their poverty exemption guidelines and those income levels **shall not** be set lower than the federal poverty guidelines as updated annually by the U.S. Department of Health and Human Services.

The act also requires an asset test to be a part of the policy and guidelines. In 2008, the State Tax Commission determined the City of Owosso policy, guidelines and exemption applications addressed by the Board of Review during that year, were found to be adequate. The application was good and the BOR followed those guidelines and maintained appropriate documentation.

I would recommend approval of the attached 2019 Poverty Exemption Policy and Guidelines as amended, with a blended income threshold of the 2019 Federal Income Standard Poverty Thresholds, as found in STC Bulletin No.16 of 2018, and the Shiawassee County Median 40% Income, whichever threshold is higher. And, an asset test as required pursuant to PA 390 of 1994.

Thank you in advance for your cooperation in this matter and as always, if you have any further questions, please feel free to contact me.

2019
Poverty Exemption
Breakdown

	Household Size								Each
	1	2	3	4	5	6	7	8	Add.
Federal Income Poverty Threshold	\$12,140	\$16,460	\$20,780	\$25,100	\$29,420	\$33,740	\$38,060	\$42,380	\$4,320
Shiawassee County Median 40%	\$17,600	\$20,120	\$22,640	\$25,120	\$27,160	\$29,160	\$31,160	\$33,160	
Income Threshold Used: (Which ever is largest)	\$17,600	\$20,120	\$22,640	\$25,120	\$29,420	\$33,740	\$38,060	\$42,380	\$4,320



RICK SNYDER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF TREASURY
LANSING

NICK A. KHOURI
STATE TREASURER

**Bulletin 16 of 2018
October 22, 2018
Changes for 2019**

TO: Assessing Officers and County Equalization Directors
FROM: State Tax Commission
SUBJECT: Procedural Changes for the 2019 Assessment Year

The purpose of this Bulletin is to provide information on statutory changes or procedural changes for the 2019 assessment year.

A. Inflation Rate Used in the 2019 Capped Value Formula

The inflation rate, expressed as a multiplier, to be used in the 2019 Capped Value Formula is 1.024.

The 2019 Capped Value Formula is as follows:

2019 CAPPED VALUE = (2018 Taxable Value – LOSSES) X 1.024 + ADDITIONS

The formula above does not include 1.05 because the inflation rate multiplier of 1.024 is lower than 1.05.

B. Federal Poverty Guidelines Used in the Determination of Poverty Exemptions for 2019

MCL 211.7u, which deals with poverty exemptions, was significantly altered by PA 390 of 1994 and was further amended by PA 620 of 2002.

Local governing bodies are required to adopt guidelines that set income levels for their poverty exemption guidelines and those income levels **shall not be set lower** by a city or township than the federal poverty guidelines updated annually by the U.S. Department of Health and Human Services. This means, for example, that the income level for a household of 3 persons **shall not** be set lower than \$20,780 which is the amount shown on the following chart for a family of 3 persons. The income level for a family of 3 persons may be set higher than \$20,780. Following are the federal poverty guidelines for use in setting poverty exemption guidelines for 2019 assessments:

Size of Family Unit	Poverty Guidelines
1	\$12,140
2	\$16,460
3	\$20,780
4	\$25,100
5	\$29,420
6	\$33,740
7	\$38,060
8	\$42,380
For each additional person	\$4,320

Note: PA 390 of 1994 states that the poverty exemption guidelines established by the governing body of the local assessing unit shall also include an asset level test. An asset test means the amount of cash, fixed assets or other property that could be used, or converted to cash for use in the payment of property taxes. The asset test should calculate a maximum amount permitted and all other assets above that amount should be considered as available. Please see STC Bulletin 6 of 2017 for more information on poverty exemptions.

Note: P.A. 135 of 2012 changed the requirements for filing documentation in support of a poverty exemption to allow an affidavit (Treasury Form 4988) to be filed for all persons residing in the residence who were not required to file federal or state income tax returns in the current year or in the immediately preceding year. This does include the owner of the property who is filing for the exemption.

C. Multipliers for the Valuation of Free-Standing Communication Towers

The State Tax Commission recommends that, subject to the qualifications stated below, communication towers should be valued for the 2019 assessment year using the table of **historical** (original cost when the tower was new) cost valuation multipliers set forth in the multiplier table below. These multipliers have been developed in a manner such that they account for the typical depreciation which is expected for a tower of the indicated age and also account for changes in the cost of the tower and erecting it that have occurred since the time the tower was constructed. On this basis, the multiplier table which is shown below is intended to predict the current true cash value of a tower of the vintage year in which the tower was constructed. An important component in determining the current value of a tower built in a given year is the change in the cost of materials, particularly changes in the cost of steel, between the time of construction and the current tax day. Since the table considers both depreciation and changes in construction costs, and since changes in construction cost have not always occurred at a constant rate, the multiplier table does not always evidence a decline in the rate by which the historical cost must be adjusted in order to determine current value. This effect is expected and can be better understood if one remembers that the multiplier table is not a depreciation table and the multipliers are applied to the historic cost of construction, not to the current replacement cost.

Communication towers are real property. When a communication tower is built on land owned by the owner of the tower, the tower is valued and assessed as a real property improvement to the land on which it is located. When a communication tower is built on leased land, the owner is required to report the original construction cost of the tower on Section N of its personal property statement, in the same way that it would report any other structure on leased land. Although the construction costs are reported on the personal

04/01/2018 INCOME AND RENT LIMITS

County: 78 Shiawassee

Effective Date: 4/1/2018

Income	1 Person	2 Person	3 Person	4 Person	5 Person	6 Person	7 Person	8 Person
20%	8,800	10,060	11,320	12,560	13,580	14,580	15,580	16,580
25%	11,000	12,575	14,150	15,700	16,975	18,225	19,475	20,725
30%	13,200	15,090	16,980	18,840	20,370	21,870	23,370	24,870
35%	15,400	17,605	19,810	21,980	23,765	25,515	27,265	29,015
40%	17,600	20,120	22,640	25,120	27,160	29,160	31,160	33,160
45%	19,800	22,635	25,470	28,260	30,555	32,805	35,055	37,305
50%	22,000	25,150	28,300	31,400	33,950	36,450	38,950	41,450
55%	24,200	27,665	31,130	34,540	37,345	40,095	42,845	45,595
60%	26,400	30,180	33,960	37,680	40,740	43,740	46,740	49,740
80%	35,200	40,240	45,280	50,240	54,320	58,320	62,320	66,320
100%	44,000	50,300	56,600	62,800	67,900	72,900	77,900	82,900
120%	52,800	60,360	67,920	75,360	81,480	87,480	93,480	99,480
125%	55,000	62,875	70,750	78,500	84,875	91,125	97,375	103,625
140%	61,600	70,420	79,240	87,920	95,060	102,060	109,060	116,060
150%	66,000	75,450	84,900	94,200	101,850	109,350	116,850	124,350

Rent By Person	1 Person	2 Person	3 Person	4 Person	5 Person	6 Person	7 Person	8 Person
20%	220	251	283	314	339	364	389	414
25%	275	314	353	392	424	455	486	518
30%	330	377	424	471	509	546	584	621
35%	385	440	495	549	594	637	681	725
40%	440	503	566	628	679	729	779	829
45%	495	565	636	706	763	820	876	932
50%	550	628	707	785	848	911	973	1,036
55%	605	691	778	863	933	1,002	1,071	1,139
60%	660	754	849	942	1,018	1,093	1,168	1,243
80%	880	1,006	1,132	1,256	1,358	1,458	1,558	1,658
100%	1,100	1,257	1,415	1,570	1,697	1,822	1,947	2,072
120%	1,320	1,509	1,698	1,884	2,037	2,187	2,337	2,487
125%	1,375	1,571	1,768	1,962	2,121	2,278	2,434	2,590
140%	1,540	1,760	1,981	2,198	2,376	2,551	2,726	2,901
150%	1,650	1,886	2,122	2,355	2,546	2,733	2,921	3,108

Rent By Bedroom	0 Bedroom	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	5 Bedroom
20%	220	235	283	326	364	402
25%	275	294	353	408	455	502
30%	330	353	424	490	546	603
35%	385	412	495	571	637	703
40%	440	471	566	653	729	804
45%	495	530	636	735	820	904
50%	550	589	707	816	911	1,005
55%	605	648	778	898	1,002	1,105
60%	660	707	849	980	1,093	1,206
80%	880	943	1,132	1,307	1,458	1,608
100%	1,100	1,178	1,415	1,633	1,822	2,010
120%	1,320	1,414	1,698	1,960	2,187	2,412
125%	1,375	1,473	1,768	2,042	2,278	2,512
140%	1,540	1,650	1,981	2,287	2,551	2,814
150%	1,650	1,768	2,122	2,450	2,733	3,015

CITY OF OWOSSO

2019

PROPERTY TAX POVERTY EXEMPTION POLICY & GUIDELINES

POLICY

The City of Owosso will grant partial exemptions due to poverty according to Section 211.7u of the Michigan Compiled Laws. ***Property Tax Poverty exemptions must be applied for each year***, after January 1st, but one day prior to the last day of the December Board of Review.

The Assessor and the Board of Review will apply the guidelines as adopted by the City uniformly to all applicants without prejudice and shall not deviate from the adopted guidelines without substantial and compelling reasons. Any such deviation shall be communicated in writing to the applicant. (211.7u).

The Assessor's office will determine the estimated property tax liability for the applicable tax year and the estimated State homestead credit for each applicant. The exemption shall not exceed the tax liability minus the estimated homestead credit refund received during the current tax year. (Example: if the tax liability is \$1000 and the homestead credit received in the current tax year is \$300, the exemption shall not exceed \$700.)

The Board of Review may deviate from the above policy where there are substantial and compelling reasons and such substantial and compelling reasons are communicated in writing to the City Council and the claimant (211.7u).

GUIDELINES

The applicant shall:

- Be the owner and occupy the principal residence the property for which an exemption is applied (211.7u).

- File a claim (application) on the form provided by the City Assessor's office. The filing of a claim constitutes an appearance before the Board of Review for the purpose of preserving the claimant's right to appeal (211.7u). **The application form shall be fully completed.**

- Sign the application at the Assessor's office when the application is returned. If the applicant cannot personally return the application, a notarized application is acceptable.

- Supply a copy of federal and state income tax returns for **all** persons residing in the homestead, including any property tax credit returns, filed in the immediately preceding or in the current year (211.7u) and/or, affidavit, (Treasury Form 4988), **must** be filed by **all** persons residing in the residence that are not required to file a federal and/or state income tax return.

- Supply a copy of proof of income for the most recent one-month period for **all** household members (current pay stubs, benefit statement, etc.)

- Supply identification, proof of residency and ownership if requested by the Assessor or Board of Review (211.7u).

If the applicant fails to supply all the required documents or if it is found that the information supplied is fraudulent, the application shall be denied.

Income Test

Applicant's income shall not exceed the federal poverty income thresholds as defined and determined annually by the U.S. Department of Commerce or 40% of the median income for Shiawassee County as provided by the State of Michigan Housing Development Authority, whichever threshold is higher. The most recent available income guidelines will be used. (See attached defined income)

2019 Income Standards Poverty Threshold

Number of persons residing in homestead	Annual allowable income
1 person	17,600.
2 persons	20,120.
3 persons	22,640.
4 persons	25,120.
5 persons	29,420.
6 persons	33,740.
7 persons	38,060.
8 persons	42,380.
Each additional person, add	4,320.

Income of students under the age of 18 years, **shall not** be included as income

Asset Test

The value of property in **excess** of what is considered part of the original homesteads minimum zoning required footprint for that home shall be considered an asset.

According to the MTT Small Claims Division Docket 236230, 8/13/1997, the MTT views the asset test to be: ***an indication of funds available which may be used to pay one's taxes....and not the inclusion of equity in one's home.***

Assets include, but are not limited to: real estate other than principal residence minimum footprint, motor vehicles, recreational vehicles and equipment, certificates of deposits, savings accounts, checking accounts, stocks, bonds, life insurance, retirement funds, etc. For purposes of this paragraph, the Board of Review shall consider the value of the assets and shall not reduce such value by any indebtedness owed on such assets, or indebtedness otherwise owed by the applicant(s).

Assets, (except the original homestead and minimum zoning required footprint, essential household goods and the first \$5,000 of the market value of a motor vehicle), shall not exceed \$4,000 (four thousand) dollars for individual applicant and/or \$6,000 (six thousand) dollars per household if more than one financial contributor.

The Bureau of the Census defines income to include the following:

1. Money wages and salaries before any deductions.
2. Net receipts from non-farm self-employment. These are receipts from a person's own business, professional enterprise, or partnership, after deductions for business expenses.
3. Net receipts from farm self-employment. These are receipts from a farm which one operates as an owner, renter, or sharecropper, after deductions for farm operating expenses.
4. Regular payments from social security, railroad retirement, unemployment compensation, strike benefits from union funds, workers' compensation, veterans' payments, public assistance (including Aid to Families with Dependent Children, Supplemental Security Income, Emergency Assistance money payments, and non-Federally-funded General Assistance or General Relief money payments).
5. Alimony, child support, and military family allotments or other regular support from an absent family member or someone not living in the household.
6. Private pensions, government employee pensions (including military retirement pay), and regular insurance or annuity payments.
7. College or university scholarships, grants, fellowships, and assistantships.
8. Dividends, interest, net rental income, net royalties, periodic receipts from estates or trusts, and net gambling or lottery winnings.

Income does not include the following:

1. Money received from the sale of property such as stocks, bonds, a house, or a car unless a person is in the business of selling such property.
2. Withdrawals of bank deposits and borrowed money.
3. Tax refunds, gifts, loans, lump-sum inheritances, one-time insurance payments.
4. Food or housing received in lieu of wages and the value of food and fuel produced and consumed on farms.
5. Federal non-cash benefit programs such as Medicare, Medicaid,

food stamps, school lunches.

CITY OF OWOSSO
Property Tax
POVERTY EXEMPTION APPLICATION

I, _____, being the owner and resident of the property listed below, desire to apply for Tax Relief under Section 7u of the Michigan General Property Tax Act: The Principal Residence of person(s) who, in the judgement of the Assessor and Board of Review, by reason of poverty, are unable to contribute toward the public charges, are eligible for exemption from taxation per MCL 211.7u(1).

In order to be considered complete, this application must: (1) Be completed in its entirety (2) Include information regarding ALL members residing within the household, and (3) included ALL required documentation as listed within the application. Please write legibly and attach additional pages as necessary.

PROPERTY & APPLICANT INFORMATION

Parcel Number: 050-_____

Address: _____ Phone No: _____

Marital Status (Check One): Married ☐ Single ☐ Separated ☐
 Divorced ☐ Widow ☐ Widower ☐

Age of Applicant: _____

Is this property your homestead (primary residence)? _____

How long have you lived at this address? _____

**DO YOU OWN, OR ARE YOU BUYING, ANY OTHER PROPERTY? YES_ NO_
IF YES, LIST.**

Property Address	Assessed Value	Joint Ownership?
_____	_____	_____
_____	_____	_____

EMPLOYMENT INFORMATION

Name of Employer: _____

Address of Employer: _____

Contact Person _____ Employer Phone Number: _____

INCOME INFORMATION

You **must** list **all** sources of income including salaries, social security, rents, interest income, pension, unemployment, workman's comp, child support, alimony, claims & lawsuits, income tax refunds, military benefits and any other income whether taxed or untaxed.

[illegible]

ASSET INFORMATION

BANK ACCOUNTS & SAVINGS (List All Accounts Separately)

Name of Bank, Savings & Loan or Credit Union	Amount On Deposit Now	In Whose Name Is The Account?

Savings Bonds (List each separately):

Bond _____ Current Value _____

Bond _____ Current Value _____

Stocks, Bonds, Mutual Funds, Mortgages, Land Contracts Held, Etc. (List each separately):

Current Value _____ Dividends & Interest Received in Previous Year _____
 Current Value _____ Dividends & Interest Received in Previous Year _____
 Current Value _____ Dividends & Interest Received in Previous Year _____

Life Insurance Policies:

Person(s) Insured _____ Current Cash Value _____

Person(s) Insured _____ Current Cash Value _____

Motor Vehicles (Including Motorcycles, Motor Homes, etc):

Make _____ Model _____ Year _____ Mileage _____ 4Door / 2 Door
Estimate Value _____

Make _____ Model _____ Year _____ Mileage _____ 4Door / 2 Door
Estimate Value _____

Make _____ Model _____ Year _____ Mileage _____ 4Door / 2 Door
Estimate Value _____

Other (Boats, Travel Trailers, ATV's, Snowmobiles, Antiques, Etc.):

Type _____ Year _____ Estimated Value _____

Type _____ Year _____ Estimated Value _____

Type _____ Year _____ Estimated Value _____

HOUSEHOLD INFORMATION

List All Persons Living at Your Address (or college students) and How They Contribute to Your
Income and/or Bills:

Name	Age	Relationship	Monthly Financial Contribution
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Monthly Expense Information

Heating: _____ Electric: _____ Water: _____ Phone: _____

Cable: _____ Satellite: _____ Internet: _____ Insurance: _____

Garbage: _____ Food: _____ Clothing: _____ Daycare: _____

Other (Type) _____ Other (Type) _____ Other (Type) _____

OTHER INFORMATION

Is anyone not living with you (friend, relative, etc.) contributing to the household income or helping to pay your expenses? If yes, explain:

Do you plan or anticipate any changes in your living arrangements or financial situation in any way this year? If yes, explain:

Please add any other information that you feel is important to this application.

Application Required Documents Checklist:

____ Federal Income Tax Return (previous year) or Poverty Exemption Affidavit if filing is not required.

____ State Income Tax Return (previous year) or Poverty Exemption Affidavit if filing is not required

____ Property Tax Credit Return (previous year)

____ Proof of Income (most recent one month period – pay stubs, benefit statements, etc.)

____ Proof of Identity (drivers license, pictured identification, etc.)

____ Proof of ownership (deed, contract, etc.)

Notice: Any willful misstatement or misrepresentations made on this form may constitute perjury, which, under the law, is a felony punishable by fine or imprisonment.

Notice: Per MCL 2117u(2b), a copy of all household members Federal Income Tax returns, State Income Tax returns (MI-1040) and Homestead Property Tax Credit claims (MI-1040CR 1, 2, 3 or 4) must be attached as proof of income or a signed Form 4988, Poverty Exemption Affidavit. Documentation for all income sources including, but not limited to, credits, claims, Social Security income, child support, alimony income, and all other income sources must be provided at time of application.

Petitioners: Do not sign this application until witnessed by the Assessor, Board of Review, or Notary Public.

I certify that the above information is true and correct to the best of my knowledge and that neither I, nor any household member residing within the principal residency, have money, income or property other than mentioned herein. If it is found that the information I supplied is fraudulent or misrepresented in any way, my application will be denied.

Signature_____ Date_____

Subscribed and sworn this _____ day of _____ 20_____

Must be signed by, and in front of, Assessor, or Board of Review Member, or Notary Public:

Signature _____ Date _____

Printed Name _____ Position _____

My Notary Commission Expires _____

IF YOU HAVE ANY QUESTIONS OR NEED HELP FILLING OUT THIS APPLICATION, PLEASE FEEL FREE TO CALL THE ASSESSING OFFICE MONDAY-FRIDAY 9:00 AM TO 5:00 PM AT 725-0530.

**CITY OF OWOSSO
SCHEDULE OF REGULAR MEETINGS
FOR THE CALENDAR YEAR BEGINNING JANUARY 1, 2019**

NOTICE IS HEREBY GIVEN, pursuant to the provisions of Act 267, Public Acts of 1976, of the schedule of Regular Meetings of the City of Owosso, County of Shiawassee, State of Michigan for the calendar year beginning January 1, 2019. The Board, dates, time and place of said regular meetings shall be as follows:

CITY COUNCIL					
The 1 st and 3 rd Monday of each month, except as noted – 7:30 p.m., local prevailing time					
<i>Dates in italic text denote a 5th Monday meeting</i>					
Owosso City Hall, Council Chambers					
JAN 07	MAR 04	MAY 06	JUL 01	SEP 03*	NOV 04
JAN 22*	MAR 18	MAY 20	JUL 15	SEP 16	NOV 18
FEB 04	APR 01	JUN 03	<i>JUL 29</i>	<i>SEP 30</i>	DEC 02
FEB 19*	APR 15	JUN 17	AUG 05	OCT 07	DEC 16
	<i>APR 29</i>		AUG 19	OCT 21	
DOWNTOWN DEVELOPMENT AUTHORITY / OWOSSO MAIN STREET			DOWNTOWN HISTORIC DISTRICT COMMISSION		
The 1 st Wednesday of each month, except as noted – 7:30 a.m., local prevailing time			The 3 rd Wednesday of each month - 6:00 p.m., local prevailing time		
Owosso City Hall, Council Chambers			Owosso City Hall, Council Chambers		
JAN 02	MAY 01	SEP 04	JAN 16	MAY 15	SEP 18
FEB 06	JUN 05	OCT 02	FEB 20	JUN 19	OCT 16
MAR 06	JUL 03	NOV 06	MAR 20	JUL 17	NOV 20
APR 03	AUG 07	DEC 04	APR 17	AUG 21	DEC 18
EMPLOYEES RETIREMENT SYSTEM BOARD			OWOSSO HISTORICAL COMMISSION		
The 4 th Wednesday of even months, except as noted - 7:15 a.m., local prevailing time			The 2 nd Monday of each month, except as noted – 7:00 p.m., local prevailing time		
Owosso City Hall, Council Chambers			Curwood Castle, 226 Curwood Castle Drive		
FEB 27	JUN 26	OCT 23	JAN 14	MAY 13	SEP 09
APR 24	AUG 28	DEC 11*	FEB 11	JUN 10	OCT 15*
			MAR 11	JUL 08	NOV 12*
			APR 08	AUG 12	DEC 09
PARKS & RECREATION COMMISSION			PLANNING COMMISSION		
The 4 th Wednesday of each month, except as noted – 7:30 p.m., local prevailing time			The 4 th Monday of each month, except as noted – 6:30 p.m., local prevailing time		
Owosso City Hall, Council Chambers			Owosso City Hall, Council Chambers		
JAN 23	MAY 22	SEP 25	JAN 28	MAY 28*	SEP 23
FEB 27	JUN 26	OCT 23	FEB 25	JUN 24	OCT 28
MAR 27	JUL 24	NOV 27	MAR 25	JUL 22	NOV 25
APR 24	AUG 28	DEC 11*	APR 22	AUG 26	DEC 09*
ZONING BOARD OF APPEALS			* = Rescheduled due to legal holiday on regular meeting date or other scheduling conflict		
The 3 rd Tuesday of each month, except as noted – 9:30 a.m., local prevailing time					
Owosso City Hall, Council Chambers					
JAN 15	MAY 21	SEP 17			
FEB 19	JUN 18	OCT 15			
MAR 19	JUL 16	NOV 19			
APR 16	AUG 20	DEC 17			

The City of Owosso will provide necessary auxiliary aids and services, such as signers for the hearing impaired and audio recordings of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing or calling the following: Amy K. Kirkland, City Clerk, 301 West Main Street, Owosso, MI 48867 (989) 725-0500. The City of Owosso website is www.ci.owosso.mi.us.



301 W. MAIN • OWOSSO, MICHIGAN 48867-2958 • (989) 725-0599 • FAX (989) 723-8854

MEMORANDUM

DATE: December 13, 2018

TO: City Council

FROM: Kevin Lenkart
Director of Public Safety

RE: Traffic Control Order # 1410

Josh Adams, Owosso Main Street/DDA, has requested closure of Main Street Plaza for an ice skating rink during the Downtown Christmas Extravaganza.

LOCATION:

Main Street Plaza Lot

DATE/TIME:

Friday, December 21st & Saturday, December 22, 2018
Friday 3 pm thru Saturday 10 pm

The Public Safety Department has issued Traffic Control Order No. 1410 in accordance with the Rules for the Issuance of Certain Traffic Control Orders. Staff recommends approval and further authorization of a traffic control order formalizing the action.

CITY OF OWOSSO

TRAFFIC CONTROL ORDER

(SECTION 2.53 UNIFORM TRAFFIC CODE)

ORDER NO.

DATE

TIME

1410

12/13/18

4:00 pm

REQUESTED BY

Kevin Lenkart – Director of Public Safety

TYPE OF CONTROL

Lot Closure

LOCATION OF CONTROL

Main Street Lot (Lot #13)

EVENT:

Christmas Extravaganza Ice Skating Rink

Friday, December 21, 2018, 3:00p.m.

Thru

Saturday, December 22, 2018, 10:00p.m.

APPROVED BY COUNCIL

_____, 20 ____

REMARKS



APPLICATION FOR USE OF PARKING LOTS, PARADES, OR SIMILAR EVENTS

301 W. MAIN OWOSSO, MICHIGAN 48867-2958 · (989) 725-0550 · FAX 725-0526

The request for use of the parking lots, parade, or similar event shall be submitted to the Director of Public Safety not less than 14 days nor more than 120 days before the date for which the use is requested.

The submission of a request by an individual or organization for a traffic control order pursuant to these rules and regulations shall constitute an agreement to indemnify and hold the City and its officers and employees harmless from any and all liability arising from the event or activities for which the request is made.

Name of individual or group: Owosso Main Street/DDA Date: 12/12/18

Primary Contact Person

Name: Josh Adams

Title: Executive Director

Address: 301 W. Main Street
Owosso, MI 48867

Phone: 989.277.1553

Requested Date(s): Fri, December 21st & Sat, December 22nd Requested Hours: Fri-3pm thru Sat-10pm

Area Requested (Parking Lot - Parade Route): Main Street Plaza Parking-lot

Detailed description of the use for which the request is made:

- ☐ Attach copies of any rules or policies applicable to persons participating in the event.
- ☐ Evidence to the City of insurance coverage applicable to the event or activity naming the City as an additional insured in an amount of not less than \$500,000 combined single limit.
- or
- ☐ The City Council may waive such insurance requirement if it determines that insurance coverage is unavailable or cannot be obtained at a reasonable cost and the event or activity is in the public interest or fulfills a legitimate and recognized public purpose.

.....
Do Not Write Below This Line - For Officials Use Only

Approved ☐ Not Approved ☐

Date:

Traffic Control Order Number



MEMORANDUM

301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ WWW.CI.OWOSSO.MI.US

DATE: December 13, 2018

TO: City Council

FROM: Glenn M. Chinavare, Utility Director

SUBJECT: GIS Support Services for Water & Sewer System Mapping - Amendment No. 3

RECOMMENDATION:

Approval to amend the professional service agreement with Orchard, Hiltz, and McClement (OHM) of Livonia, Michigan, for additional GIS-geodatabase maintenance support services in the amount of \$30,000.00.

BACKGROUND:

OHM has developed geodatabases for the Water Distribution System and the Sanitary Sewer Collection System using SAW Grant funds from the State of Michigan. Both of these mapping systems are completed and will require ongoing support services to keep current with ever changing construction and maintenance detail.

The city has recently hired a GIS Mapping Analyst, who is transitioning into these duties over the next three to six months. OHM will still be required to provide training and assistance during this transition period, and to provide other GIS/GPS support services as necessary.

Previous approvals for such services are:

Council approved 07 August 2017..... \$30,000.00 - Support Services

Council approved 06 August 2018 \$20,000.00 - Support Services

FISCAL IMPACTS:

The additional services proposed are a not-to-exceed \$30,000.00. Services are chargeable to the FY 2018-2019 Water Fund account 591-552-818.000, Sewer Fund account 590-549-818.000, and Street Fund accounts 202/203-463-818.000.

Document originated by:

Glenn M. Chinavare, Director of Public Services & Utilities

Attachments: (1) Resolution

RESOLUTION NO.

**AUTHORIZING THE EXECUTION OF AMENDMENT NO. 3
AN AGREEMENT FOR PROFESSIONAL ENGINEERING SERVICES
WITH ORCHARD, HILTZ & MCCLIMENT, INC. D/B/A OHM ADVISORS**

WHEREAS, the city of Owosso, Shiawassee County, Michigan, entered into an agreement with Orchard, Hiltz & McCliment, Inc. d/b/a OHM Advisors by the adoption of Resolution 26-2015 on April 6, 2015; and

WHEREAS, the city and Director of Public Services & Utilities desires to expand the contract to include additional services for providing GIS database maintenance services for water distribution, sanitary sewer, and storm sewer mapping systems.

NOW THEREFORE BE IT RESOLVED by the city council of the city of Owosso, Shiawassee County, Michigan that:

- FIRST: The city of Owosso has heretofore determined that it is advisable, necessary and in the public interest to expand the contract approved by Resolution 26-2015 on April 6, 2015 with Orchard, Hiltz & McCliment, Inc. d/b/a OHM Advisors to include additional services in the amount of \$30,000.00 for ongoing GIS database mapping and maintenance services.
- SECOND: The accounts payable department is authorized to submit payment to OHM Advisors, in the amount of \$50,000.00 plus Amendment No. 3 in the amount of \$30,000.00, for a total not to exceed \$80,000.00 for GIS/Geodatabase engineering services.
- THIRD: The above expenses shall be paid from water funds, sewer funds, and street funds.



MEMORANDUM

301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ WWW.CI.OWOSSO.MI.US

DATE: December 11, 2018

TO: City Council

FROM: Glenn Chinavare, Director of Public Services & Utilities

SUBJECT: Change Order No. 2 (Final) - Malley Construction, Inc. – 2017 Street Resurfacing Program

RECOMMENDATION:

Approval of Change Order No. 2 (Final) to the Contract between the city of Owosso and Malley Construction, Inc., for the 2017 Street Resurfacing Program.

BACKGROUND:

On August 7, 2017, City Council approved the Contract to Malley Construction Inc. in the amount of \$2,887,383.25 for the 2017 Street Resurfacing Program. Project construction is now complete, and a final balancing Change Order No. 2 in the amount of \$71,383.18, a net increase, that when approved will revise the total contract price to \$2,967,984.93. This change order balances original contract pay items and introduces new pay items (explained in the change order document) due to unforeseen events encountered in the field. Specifically, during underground water-main construction, workers encountered several occurrences where unknown debris and utilities hindered work, and these issues required movement or replacement. In addition, some storm sewer infrastructure was found to be structurally deficient and required repair and renovation.

Staff finds the prices reasonable and recommends approval of Change Order No. 2 to complete the contract with Malley Construction, Inc.

FISCAL IMPACTS:

Additional expenses in the amount of \$71,383.18 for Change Order No. 2 shall be paid for from Public Act 51 Major Street Fund Account No. 202-451-818.000 (\$47,649.77) and Water Fund Account No. 591-901-972.00 (\$23,733.41).

Document originated by: Glenn Chinavare, Director of Public Services & Utilities

attachments: (1) Resolution
(2) Proposed Change Order No. 2 (Final) for Malley Construction Inc.

RESOLUTION NO.

**AUTHORIZING CHANGE ORDER NO. 2
TO THE CONTRACT BETWEEN THE CITY OF OWOSSO AND
MALLEY CONSTRUCTION, INC.
FOR 2017 STREET RESURFACING PROGRAM CONTRACT**

WHEREAS, the city of Owosso, Shiawassee County, Michigan, approved a contract with Malley Construction, Inc., on August 7, 2017 for street, watermain, and storm sewer improvements on various streets as part of the 2017 Street Resurfacing Program; and

WHEREAS, during the course of the program the City requested additional work from Malley Construction, Inc. including the repair of water main breaks, installation of a new water service, and relocation of a service necessitating a change order; and

WHEREAS, Malley Construction, Inc. has since completed the project and a balancing change order is necessary to bring the unit quantities estimated in line with the actual quantities used.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Owosso, Shiawassee County, Michigan that:

- FIRST: the City of Owosso has determined it is advisable, necessary and in the public interest to amend the 2017 Street Resurfacing Program Contract with Malley Construction, Inc. to reflect the actual unit quantities used and the addition of extra tasks necessary to complete the project.
- SECOND: the mayor and city clerk are instructed and authorized to sign the document substantially in form attached as Change Order No. 2 (Final) in the amount of \$71,383.18; a net increase to the Contract for Services between the City of Owosso and Malley Construction, Inc. revising the total current contract amount from \$2,896,601.75 to \$2,967,984.93.
- THIRD: the accounts payable department is authorized to pay Malley Construction, Inc. for work satisfactorily completed up to the revised contract amount of \$2,967,984.93.
- FOURTH: the above expenses shall be paid from the Public Act 51 Major Street Fund Account No. 202-451-818.000 (\$47,649.77) and the Water Fund Account No. 591-901-972.000 (\$23,733.41).

CHANGE ORDERNo. 2

OWNER: City of Owosso
CONTRACTOR: Malley Construction, Inc.
Contract: City of Owosso 2017 Street Program
OWNER's P.O. No. 000042304 ENGINEER's Project No. 830300
ENGINEER: Fleis & VandenBrink

The Contract is modified as follows upon execution of this Change Order:
Description:

Road and Storm Sewer:

Balance quantities based on contract award vs. quantities placed (see attachment).

Road and Storm Sewer Increase/Decrease Total Dollar Value: \$47,649.77

Total Net Change Amount (Road and Storm Sewer): \$47,649.77

Water Main:

Balance quantities based on contract award vs. quantities placed (see attachment).

Water Main Increase/Decrease Total Dollar Value: (\$3,620.55)

Add the following pay items to the Contract:

<u>Item No.</u>	<u>Item of Work</u>	<u>Est. Qty</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Cost</u>
140	Sign, Type III, Rem	30	Ea	\$10.00	\$300.00
141	Sign, Type III, Erect, Salv	30	Ea	\$40.00	\$1,200.00
142	Post, Steel, 3 pound	142	Ft	\$6.00	\$852.00
143	Round Galv. Post	140	Ft	\$8.00	\$1,120.00
144	New 1.5" Water Service	1	LSum	\$4,525.46	\$4,525.46
145	Relocate Service for WM Bore (4/9/18)	1	LSum	\$400.00	\$400.00
146	Fix Water Main at Henry St (4/19/18)	1	LSum	\$1,790.00	\$1,790.00
147	Fix WM Bore Break (4/20/18)	1	LSum	\$5,033.50	\$5,033.50
148	Fix WM Bore Break (4/25/18 & 4/26/18)	1	LSum	\$3,456.00	\$3,456.00
149	Fix Ex. WM leak at Fredrick St (5/7/18)	1	LSum	\$2,180.00	\$2,180.00
150	Fix WM Bore Break (5/15/18)	1	LSum	\$2,716.00	\$2,716.00
151	Fix WM Tapping Break (5/15/18)	1	LSum	\$2,716.00	\$2,716.00
152	Fix Ex. WM break at Mary Street (6/8/18)	1	LSum	\$1,065.00	\$1,065.00

Water Main New Items Total Dollar Value: \$27,353.96

Total Net Change Amount (Water Main): \$23,733.41

Total Change Order No. 2 Amount (Total Contract): \$71,383.18

Attachments: Quantity Increases/Decreases
Malley Construction Proposals

CHANGE IN CONTRACT PRICE
Original Contract Price \$ 2,887,383.25
Increase (Decrease) from previously approved Change Orders No. <u>1</u> to ____: \$ 9,218.50
Contract Price prior to this Change Order: \$ 2,896,601.75
Increase (Decrease) of this Change Order: \$ 71,383.18
Contract Price Incorporating this Change Order: \$ 2,967,984.93

CHANGE IN CONTRACT TIMES
Original Contract Times: Substantial Completion: _____ Ready for Final Payment: _____ (days or dates)
Increase (Decrease) from previously approved Change Orders No. ____ to ____: Substantial Completion: _____ Ready for Final Payment: _____ (days)
Contract Times prior to this Change Order: Substantial Completion: _____ Ready for Final Payment: _____ (days or dates)
Increase (Decrease) of this Change Order: Substantial Completion: _____ Ready for Final Payment: _____ (days)
Contract Times with all approved Change Orders: Substantial Completion: _____ Ready for Final Payment: _____ (days or dates)

RECOMMENDED:

By: 

ENGINEER (Authorized Signature)

Title: Project Engineer

Date: 11/29/18



ACCEPTED:

By: 

CONTRACTOR (Authorized Signature)

Title: Project Manager

Date: 11/29/2018

APPROVED:

By: _____

OWNER (Authorized Signature)

Title: _____

Date: _____

Change Order No. 2

Increases / Decreases

Item No.	Description	Unit	Plan Quantity	Unit Price	Total Quantity Placed	Quantity Change	Dollar Value
1	Mobilization, Max 5%, (2017 Road and Storm)	LSum	1	\$60,475.00	1.00		
2	Mobilization, Max 5%, (2018 Road and Storm)	LSum	1	\$1.00	1.00		
3	Dr Structure, Abandon	Ea	2	\$209.38		(2.00)	(418.76)
4	Dr Structure, Rem	Ea	61	\$189.38	67.00	6.00	1,136.28
5	Sewer, Rem, Less than 24 inch	Ft	1619	\$5.84	2,294.00	675.00	3,942.00
6	Sewer, Rem, 24 inch to 48 inch	Ft	45	\$9.48	120.00	75.00	711.00
7	Curb and Gutter, Rem	Ft	2900	\$7.96	3,674.20	774.20	6,162.63
8	Pavt, Rem	Syd	1500	\$3.95	1,367.80	(132.20)	(522.19)
9	Sidewalk, Rem	Syd	660	\$5.95	785.60	125.60	747.32
10	Machine Grading, Modified	Sta	106	\$443.35	104.32	(1.68)	(744.83)
11	Subgrade Undercutting, Type II	Cyd	200	\$17.06	17.80	(182.20)	(3,108.33)
12	Erosion Control, Inlet Protection, Fabric Drop	Ea	50	\$90.00	49.00	(1.00)	(90.00)
13	Aggregate Base, 6 inch, Modified	Syd	11,132	\$8.39	10,798.00	(334.00)	(2,802.26)
14	Aggregate Base, 8 inch, Modified	Syd	11,715	\$10.99	12,921.40	1,206.40	13,258.34
15	Maintenance Gravel	Ton	300	\$25.15	627.20	327.20	8,229.08
16	Geotextile, Separator	Cyd	22,600	\$1.20	23,719.37	1,119.37	1,343.24
17	Sewer, SDR-26, 6 inch, Tr Det B, Modified	Ft	10	\$32.00	16.00	6.00	192.00
18	Sewer, SDR-26, 8 inch, Tr Det B, Modified	Ft	50	\$33.02	37.00	(13.00)	(429.26)
19	Sewer, SDR-26, 10 inch, Tr Det B, Modified	Ft	1213	\$33.03	1,115.00	(98.00)	(3,236.94)
20	Sewer, SDR-26, 12 inch, Tr Det B, Modified	Ft	723	\$36.03	698.00	(25.00)	(900.75)
21	Sewer, SDR-26, 15 inch, Tr Det B, Modified	Ft	392	\$44.03	384.00	(8.00)	(352.24)
22	Sewer, SDR-26, 18 inch, Tr Det B, Modified	Ft	521	\$48.03	586.00	65.00	3,121.95
23	Sewer, SDR-26, 24 inch, Tr Det B, Modified	Ft	446	\$56.02	712.00	266.00	14,901.32
24	Sewer Bulkhead, 18 inch	Ea	1	\$249.92		(1.00)	(249.92)
25	Sewer Bulkhead, 24 inch	Ea	1	\$299.93		(1.00)	(299.93)
26	Dr Structure Cover, Adj, Case 1	Ea	34	\$350.00	50.00	16.00	5,600.00
27	Dr Structure Cover, EJ 1060	Ea	27	\$600.00	32.00	5.00	3,000.00
28	Dr Structure Cover, EJ 1120 w/ Gasket Seal	Ea	29	\$650.00	30.00	1.00	650.00
29	Dr Structure Cover, EJ 7000	Ea	36	\$700.00	37.00	1.00	700.00
30	Dr Structure 24 inch dia, Modified	Ea	2	\$797.03	2.00		
31	Dr Structure 36 inch dia, Modified	Ea	34	\$1,457.52	33.00	(1.00)	(1,457.52)
32	Dr Structure 48 inch dia, Modified	Ea	23	\$1,987.78	30.00	7.00	13,914.46
33	Dr Structure 60 inch dia, Modified	Ea	3	\$3,597.47	2.00	(1.00)	(3,597.47)
34	Dr Structure, Adj, Add Depth	Ft	10	\$350.00		(10.00)	(3,500.00)
35	Dr Structure, Temp Lowering	Ea	5	\$250.00		(5.00)	(1,250.00)
36	Cold Milling HMA Surface	Syd	4011	\$3.15	3,808.30	(202.70)	(638.50)
37	HMA Surface, Rem	Syd	21,993	\$2.38	23,719.37	1,726.37	4,108.76
38	HMA Base Crushing and Shaping, Modified	Syd	7,095	\$2.75	7,040.30	(54.70)	(150.42)
39	Asphalt Cement Stabilized Base Course	Syd	7,095	\$2.10	7,040.30	(54.70)	(114.87)
40	Asphalt Cement Binder	Gal	11,350	\$3.15	11,300.47	(49.53)	(156.02)
41	Hand Patching	Ton	20	\$105.00	35.26	15.26	1,602.30
42	HMA, 2C	Ton	6,510	\$61.27	5,670.58	(839.42)	(51,431.26)
43	HMA, 13A	Ton	836	\$69.51	995.72	159.72	11,102.14
44	HMA, 4E3	Ton	475	\$76.02	512.21	37.21	2,828.70

Item No.	Description	Unit	Plan Quantity	Unit Price	Total Quantity Placed	Quantity Change	Dollar Value
45	HMA, 5E3	Ton	2,700	\$73.92	2,714.40	14.40	1,064.45
46	HMA Approach	Ton	20	\$105.00		(20.00)	(2,100.00)
47	Cement	Ton	5	\$262.50		(5.00)	(1,312.50)
48	Saw Cutting	Ft	9,000	\$2.89	8,626.25	(373.75)	(1,080.14)
49	Driveway, Nonreinf Conc, 6 inch	Syd	46	\$36.86	134.50	88.50	3,262.11
50	Driveway, Nonreinf Conc, 7 inch	Syd	57	\$41.58	19.50	(37.50)	(1,559.25)
51	Approach, CI II, LM	Ton	15	\$15.71	15.00		
52	Curb and Gutter, Conc, Det F4, Modified	Ft	2,900	\$16.59	3,767.00	867.00	14,383.53
53	Detectable Warning Surface	Ft	250	\$31.50	235.00	(15.00)	(472.50)
54	Sidewalk Ramp, Conc, 4 inch	Sft	4,500	\$5.08	2,214.40	(2,285.60)	(11,610.85)
55	Sidewalk, Conc, 4 inch	Sft	3,500	\$3.36	7,905.25	4,405.25	14,801.64
56	Sidewalk, Conc, 6 inch	Sft	200	\$4.10	174.00	(26.00)	(106.60)
57	Post, Mailbox	Ea	20	\$97.40		(20.00)	(1,948.00)
58	Valve Box, Adj	Ea	6	\$174.58	15.00	9.00	1,571.22
59	Sanitary Serv Conflict	Ea	4	\$1,579.59	7.00	3.00	4,738.77
60	Abandoned Gas Main Conflict	Ea	10	\$609.63	8.00	(2.00)	(1,219.26)
61	Pavt Mrkg, Ovly Cold Plastic, 6 inch, Crosswalk	Ft	100	\$3.10		(100.00)	(310.00)
62	Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar	Ft	36	\$13.13		(36.00)	(472.68)
63	Pavt Mrkg, Waterborne, 4 inch, White	Ft	4,845	\$0.32	4,793.00	(52.00)	(16.64)
64	Barricade, Type III, High Intensity, Double Sided, Furn & Oper	Ea	62	\$110.25	69.00	7.00	771.75
65	Pedestrian Type II Barricade, Temp	Ea	12	\$141.75		(12.00)	(1,701.00)
66	Lighted Arrow, Type C, Furn & Oper	Ea	4	\$351.75		(4.00)	(1,407.00)
67	Minor Traf Devices	LSum	1	\$27,000.00	1.00		
68	Plastic Drum, High Intensity, Furn & Oper	Ea	140	\$12.08	190.00	50.00	604.00
69	Sign, Type B, Temp, Prismatic, Furn & Oper	Sft	1,000	\$3.73	1,507.50	507.50	1,892.98
70	Traf Regulator Control	LSum	1	\$1,000.00	1.00		
71	Turf Establishment, Performance	Syd	3,000	\$3.00	5,691.90	2,691.90	8,075.70
72	S. Chestnut Street Aggregate Shoulder	LSum	1	\$3,900.00	1.00		
73	Sanitary Sewer Lead Replacement	Ea	1	\$1,700.00	1.00		
74	Connect Downspout to New Storm Sewer	Ea	1	\$500.00	1.00		
75	Dr Structure Modifications due to Conflicts	Ea	4	\$412.50	4.00		
76	Flowable Fill	Lf	320	\$5.00	320.00		
Road and Storm Sewer:					Total Dollar Value:		\$47,649.77

Item No.	Description	Unit	Plan Quantity	Unit Price	Total Quantity Placed	Quantity Change	Dollar Value
100	Mobilization, Max 5%, (2017 Water Main)	LSum	1	\$16,000.00	1.00		
101	Mobilization, Max 5%, (2018 Water Main)	LSum	1	\$1.00	1.00		
102	Connect to Ex. Water Main	Ea	22	\$3,000.00	24.00	2.00	6,000.00
103	Existing Valve with Valve Box Abandonment	Ea	31	\$200.00	32.00	(16.00)	(3,200.00)
104	Existing Hydrant Removal	Ea	9	\$790.00	9.00		
105	4" PVC Water Main, Trench Backfill Detail 'G'	Lf	56	\$31.00	19.00	(37.00)	(1,147.00)
106	6" PVC Water Main, Trench Backfill Detail 'G'	Lf	682	\$34.00	719.80	37.80	1,285.20
107	8" PVC Water Main, Trench Backfill Detail 'G'	Lf	297	\$37.00	388.25	91.25	3,376.25
108	12" PVC Water Main, Trench Backfill Detail 'G'	Lf	650	\$64.00	938.75	288.75	18,480.00
109	12" PVC Water Main, Directional Drill	Lf	4670	\$95.00	4,144.00	(526.00)	(49,970.00)
110	8" Tee	Ea	1	\$1,340.00	1.00		
111	12" x 6" Tee	Ea	28	\$1,850.00	27.00	(2.00)	(3,700.00)
112	12" x 8" Tee	Ea	6	\$1,930.00	6.00		
113	12" Tee	Ea	3	\$2,215.00	3.00		
114	12" x 6" Reducer	Ea	1	\$1,180.00	1.00		
115	12" x 8" Reducer	Ea	1	\$1,280.00	2.00	1.00	1,280.00
116	8" x 6" Reducer	Ea	4	\$685.00	5.00	1.00	685.00
117	8" x 4" Reducer	Ea	1	\$685.00		(1.00)	(685.00)
118	6" x 4" Reducer	Ea	4	\$620.00	5.00	1.00	620.00
119	4" Plug	Ea	5	\$300.00	3.00	(2.00)	(600.00)
120	6" Plug	Ea	15	\$300.00	18.00	3.00	900.00
121	12" Plug	Ea	2	\$550.00	1.00	(1.00)	(550.00)
122	4" 90° Bend	Ea	7	\$750.00	2.00	(5.00)	(3,750.00)
123	6" 22.5° Bend	Ea	2	\$865.00	3.00	1.00	865.00
124	6" 45° Bend	Ea	20	\$780.00	27.00	7.00	5,460.00
125	6" 90° Bend	Ea	24	\$800.00	35.00	11.00	8,800.00
126	12" 22.5° Bend	Ea	4	\$2,140.00	2.00	(2.00)	(4,280.00)
127	12" 45° Bend	Ea	20	\$2,170.00	43.00	23.00	49,910.00
128	12" 90° Bend	Ea	1	\$2,320.00	1.00		
129	6" Valve and Valve Box	Ea	14	\$1,160.00	13.00	(2.00)	(2,320.00)
130	8" Valve and Valve Box	Ea	5	\$1,530.00	5.00		
131	12" Valve and Valve Box	Ea	14	\$2,520.00	13.00	(1.00)	(2,520.00)
132	90° Fire Hydrant Assembly	Ea	14	\$3,800.00	13.00	(2.00)	(7,600.00)
133	New Water Service, Open Cut	Ea	45	\$1,350.00	38.00	(7.00)	(9,450.00)
134	New Water Service, Freebore	Ea	50	\$2,310.00	45.00	(6.00)	(13,860.00)
135	2" Blow-Off and Copper Line to Surface	Ea	18	\$1,270.00	23.00	5.00	6,350.00
136	Pipe Insulation	Lf	20	\$69.00	20.00		
137	20-inch dia Casing Pipe	Lf	20	\$78.00	20.00		
138	Supply & Install Meter Pit, Complete	Ea	30	\$400.00	21.00	(10.00)	(4,000.00)
139	C153 Ductile Iron Fittings Credit	LSum	1	-\$11,150.00	1.00		
Water Main:					Total Dollar Value:		(\$3,620.55)



MALLEY CONSTRUCTION

1565 PARK PLACE | MT. PLEASANT, MI 48858 | PHONE: (989) 772-2765 | Fax: (989) 546-4488

Thursday, June 7, 2018

144

Subject: 1 ½" water service Owosso 2017 street program

Malley Construction, Inc. has prepared a proposal the above mentioned project. Our proposal is as follows:

Description	Total
New Water Service 1 ½", Freebore	
Material:	
1 ½" curb stop	\$327.61
1 ½" coupling	\$204.26
1 ½" corp stop	\$173.98
12" x 1 ½" Saddle	\$363.17
1 ½" K copper x 100'	\$801.32
2 EA 1 1/2" 90 deg. Bend	\$304.54
Valve box	\$231.61
2" x 1 ½" bushing	\$57.42
1 ½" threaded to compression	\$96.65
2 EA 4" Mega Lug and bolt pack	\$75.78
4" cap x2" threaded	\$99.56
4" cap	<u>\$99.56</u>
Total Material	\$3,140.00
Bore	\$550.00
Equipment and Labor	\$1,140.00
Total:	\$4,525.46 EA

Note:

a)

If you should have any questions please feel free to contact me at (989) 772-2765.

Best Regards,

Tony Hale, Project Estimator
MALLEY CONSTRUCTION, INC.



MALLEY CONSTRUCTION

1565 PARK PLACE | MT. PLEASANT, MI 48858 | PHONE: (989) 772-2765 | Fax: (989) 546-4488

Tuesday, June 5, 2018

145

Relocate existing water service for bore

Malley Construction, Inc. has prepared a proposal the above mentioned project. Our proposal is as follows:

Description		Total
April 9th Relocate water service for bore		
Labor	4 HR	\$300.00
Equipment	2 HR	\$100.00
Total:		\$400.00

Note:

a)

If you should have any questions please feel free to contact me at (989) 772-2765.

Best Regards,

Tony Hale, Project Estimator
MALLEY CONSTRUCTION, INC.



MALLEY CONSTRUCTION

1565 PARK PLACE | MT. PLEASANT, MI 48858 | PHONE: (989) 772-2765 | Fax: (989) 546-4488

Tuesday, June 5, 2018

146

Hit unmarked stub off water main on Henry St

Malley Construction, Inc. has prepared a proposal the above mentioned project. Our proposal is as follows:

Description		Total
April 19th Fixed unmarked water main on Henry St		
Labor	16 HR	\$1200.00
Equipment	4 HR	\$200.00
Truck	2 HR	\$220.00
Sand	20 CY	\$130.00
Dump Fee	20 CY	\$40.00
Total:		\$1,790.00

Note:

a)

If you should have any questions please feel free to contact me at (989) 772-2765.

Best Regards,

Tony Hale, Project Estimator
MALLEY CONSTRUCTION, INC.



MALLEY CONSTRUCTION

1565 PARK PLACE | MT. PLEASANT, MI 48858 | PHONE: (989) 772-2765 | Fax: (989) 546-4488

Tuesday, June 5, 2018

147

Pipe broke while pulling due to rocks

Malley Construction, Inc. has prepared a proposal the above mentioned project. Our proposal is as follows:

Description		Total
April 20th Excavation and fixed bore pipe that broke South of Clyde		
Labor	21 HR	\$1575.00
Equipment	10.5 HR	\$525.00
Truck	8.5 HR	\$935.00
Sand	85 CY	\$552.50
Dump Fee	85 CY	\$170.00
12" Sleeve	2 EA	\$700.00
12" Mega Lugs w/blue bolts	4 EA	\$480.00
12" Pipe	6 FT	\$96.00
Total:		\$5,033.50

Note:

a)

If you should have any questions please feel free to contact me at (989) 772-2765.

Best Regards,

Tony Hale, Project Estimator
MALLEY CONSTRUCTION, INC.



MALLEY CONSTRUCTION

1565 PARK PLACE | MT. PLEASANT, MI 48858 | PHONE: (989) 772-2765 | Fax: (989) 546-4488

Tuesday, June 5, 2018

148

Pipe broke while pulling due to rocks

Malley Construction, Inc. has prepared a proposal the above mentioned project. Our proposal is as follows:

Description		Total
April 25th and 26th Excavation and fixed bore pipe that broke between Freeman and Fredrick		
Labor	14 HR	\$1050.00
Equipment	7 HR	\$350.00
Truck	4 HR	\$440.00
Sand	40 CY	\$260.00
Dump Fee	40 CY	\$80.00
12" Sleeve	2 EA	\$700.00
12" Mega Lugs w/blue bolts	4 EA	\$480.00
12" Pipe	6 FT	\$96.00
Total:		\$3,456.00

Note:

a)

If you should have any questions please feel free to contact me at (989) 772-2765.

Best Regards,

Tony Hale, Project Estimator
MALLEY CONSTRUCTION, INC.



MALLEY CONSTRUCTION

1565 PARK PLACE | MT. PLEASANT, MI 48858 | PHONE: (989) 772-2765 | Fax: (989) 546-4488

Tuesday, June 5, 2018

149

Fixed City water main at Fredrick street

Malley Construction, Inc. has prepared a proposal the above mentioned project. Our proposal is as follows:

Description		Total
May 7th Fixed City water main that was leaking at Fredrick street		
Labor	16 HR	\$1200.00
Equipment	4 HR	\$200.00
Truck	4 HR	\$440.00
Sand	40 CY	\$260.00
Dump Fee	40 CY	\$80.00
Total:		\$2,180.00

Note:

a)

If you should have any questions please feel free to contact me at (989) 772-2765.

Best Regards,

Tony Hale, Project Estimator
MALLEY CONSTRUCTION, INC.



MALLEY CONSTRUCTION

1565 PARK PLACE | MT. PLEASANT, MI 48858 | PHONE: (989) 772-2765 | Fax: (989) 546-4488

Tuesday, June 5, 2018

150

Fixed 12" main that broke during testing due to rocks

Malley Construction, Inc. has prepared a proposal the above mentioned project. Our proposal is as follows:

Description		Total
May 15th Fixed broking pipe during testing		
Labor	12 HR	\$900.00
Equipment	3 HR	\$150.00
Truck	2 HR	\$220.00
Sand	20 CY	\$130.00
Dump Fee	20 CY	\$40.00
12" Sleeve	2 EA	\$700.00
12" Mega Lugs w/blue bolts	4 EA	\$480.00
12" Pipe	6 FT	\$96.00
Total:		\$2,716.00

Note:

a)

If you should have any questions please feel free to contact me at (989) 772-2765.

Best Regards,

Tony Hale, Project Estimator
MALLEY CONSTRUCTION, INC.



MALLEY CONSTRUCTION

1565 PARK PLACE | MT. PLEASANT, MI 48858 | PHONE: (989) 772-2765 | Fax: (989) 546-4488

Tuesday, June 5, 2018

151

Fixed 12" main that broke during tapping due to rocks

Malley Construction, Inc. has prepared a proposal the above mentioned project. Our proposal is as follows:

Description		Total
May 15th Fixed broking pipe during tapping		
Labor	12 HR	\$900.00
Equipment	3 HR	\$150.00
Truck	2 HR	\$220.00
Sand	20 CY	\$130.00
Dump Fee	20 CY	\$40.00
12" Sleeve	2 EA	\$700.00
12" Mega Lugs w/blue bolts	4 EA	\$480.00
12" Pipe	6 FT	\$96.00
Total:		\$2,716.00

Note:

a)

If you should have any questions please feel free to contact me at (989) 772-2765.

Best Regards,

Tony Hale, Project Estimator
MALLEY CONSTRUCTION, INC.



MALLEY CONSTRUCTION

1565 PARK PLACE | MT. PLEASANT, MI 48858 | PHONE: (989) 772-2765 | Fax: (989) 546-4488

Monday, June 11, 2018

152

Fixed City water main at Mary street

Malley Construction, Inc. has prepared a proposal the above mentioned project. Our proposal is as follows:

Description		Total
June 8th Fixed City water main break at Mary street		
Labor	6 HR	\$450.00
Equipment	4.5 HR	\$225.00
Truck	2 HR	\$220.00
Sand	20 CY	\$130.00
Dump Fee	20 CY	\$40.00
Total:		\$1,065.00

Note:

a)

If you should have any questions please feel free to contact me at (989) 772-2765.

Best Regards,

Tony Hale, Project Estimator
MALLEY CONSTRUCTION, INC.



MEMORANDUM

301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ WWW.CI.OWOSSO.MI.US

DATE: December 11, 2018

TO: Owosso City Council

FROM: Robert V. Doran-Brockway, Historical Facilities Director

SUBJECT: Authorizing the repair and restoration of the plaster ceiling, medallion and trim in the Great Room in the Amos Gould House; replace the electrical infrastructure and wiring of the Great Room and the chandelier; install art lights for future exhibitions; and paint and finish the ceiling

RECOMMENDATION:

The Historical Commission (OHC) finds it prudent and reasonable to recommend that the plaster ceiling, plaster medallion and the plaster trim in the Great Room of the Amos Gould House be restored, along with the replacement of the electrical wiring. The ceiling, which dates back to the 1873 restoration by Amos, collapsed two years ago, which also resulted in damage to the plaster medallion and plaster trim. This repair and renovation will be completed by a craftsman that specializes in the plaster restoration of historical homes and museums. The electrical infrastructure and wiring which dates back to the 1970s will be replaced and upgraded, as well as the wiring in the chandelier, which was originally gas and also dates back to the 1873 renovation when his Honor Amos Gould expanded the house and changed the style from Italianate to the “more modern” French Second Empire.

The OHC finds it prudent and reasonable to install professional art lights to showcase our collection of Owosso memorabilia and local artifacts and for future historical exhibitions.

The OHC has submitted a bid from JPC Plaster and Ludington Electric in the amount of \$11,100, with an additional allowance of \$1,500 for painting and finishing. The funds for this project were wholly raised by the Owosso Historical Commission for the purpose of this restoration only. The following will be completed during the weeks of January 14, 21 and 28:

- Remove the chandelier
- Demo the ceiling and remove the plaster medallion
- Reinforce the original lath
- Rewire the electrical infrastructure in the Great Room, running wiring to a new electrical juncture box in the basement
- Install 13 cans in the Great Room for new art lights
- Install 6 dimmer switches for the new art lights and historical chandelier
- Restore the ceiling to its original historical form with plaster
- Restore the plaster trim, especially in the south and west sides of the Great Room, which has

separated from the lath and cracked

- Restore and install the medallion along with the rewired chandelier
- Install the new art lights
- Paint and finish the ceiling
- The total project not to exceed \$15,000

The OHC is seeking a waiver from the normal City of Owosso bidding process to use JPC Plaster and Ludington Electric due to the fact that they have extensive working knowledge of the unique historical properties of the Amos Gould House.

RESOLUTION NO.

AUTHORIZING THE REPAIR AND RESTORATION OF THE PLASTER CEILING, PLASTER MEDALLION AND PLASTER TRIM IN THE GREAT ROOM OF THE GOULD HOUSE; REPLACE THE ELECTRICAL WIRING; AND THE ADDITION OF INTERIOR ART LIGHTS

WHEREAS, the plaster ceiling in the Great Room of the Amos Gould House collapsed two years ago, resulting in irreparable and critical damage to the ceiling and serious damage to the plaster medallion and plaster trim; the ceiling needs to be replaced and restored and the medallion and trim needs to be restored; and

WHEREAS, the electrical wiring in the Great Room of the Amos Gould House dates back to the early 1970s and needs to be replaced and upgraded; and

WHEREAS, the Owosso Historical Commission on behalf of the City of Owosso has voted to repair and restore the ceiling in the Great Room of the Amos Gould House, replace the electrical infrastructure and install art lights to professionally light future exhibitions and displays and has raised the funds to complete the project; and

WHEREAS, JPC Plaster & Drywall, LLC has submitted a proposal in the amount of \$8,300.00 to restore the ceiling, medallion and trim in the Great Room of the Amos Gould House; and

WHEREAS, Ludington Electric, Inc. has submitted a proposal in the amount of \$2,812.00 to replace the electrical wiring and infrastructure, rewire the chandelier in the Great Room of the Amos Gould House, and install new art lights; and

WHEREAS, the Owosso Historical Commission would like to use JPC Plaster & Drywall, LLC and Ludington Electric, Inc. and waive the normal bidding process due to the fact that they have an extensive working knowledge of the unique historical restoration process and the Amos Gould House; and

WHEREAS, in the past, historic preservation had been considered a luxury practice, but in recent years, research of the economic and public benefits have proven that it is a powerful tool in sustaining local economies, creating jobs, and generating capital. The aesthetic, cultural and historical benefits of preservation are well known, but now communities like Owosso are fully realizing the overwhelming positive economic effects as well.

NOW THEREFORE BE IT RESOLVED by the City Council Of the City Of Owosso, Shiawassee County, Michigan that:

- FIRST: it is advisable and in the public interest to allow the Owosso Historical Commission to contract JPC Plaster & Drywall, LLC and Ludington Electric, Inc. to initiate and complete the restoration of the Great Room of the Amos Gould House and perform electrical work in the amount of \$8,300.00 and \$2,812.00 respectively, with an additional allowance of \$1,500.00 to paint and finish the ceiling.
- SECOND: the normal bidding process is waived due to the fact that JPC Plaster & Drywall, LLC and Ludington Electric, Inc. have an extensive knowledge of the unique historical processes required in historic homes as well as a working knowledge of properties of the Amos Gould House.
- THIRD: the work will be paid for using funds raised from private sources by the Owosso Historical Commission.

JPC Plaster & Drywall, LLC
6070 Campbell Rd
Ann Arbor, MI 48108
734 904-0016
jim@restoremyplaster.com
www.restoremyplaster.com

**BILL TO**

Robert Doran-Brockway
Owasso Historical Society
301W. Main Commission
Owasso, Mi 48867

SHIP TO

Great Room of the Amos Gould
House
115 North Washington Street.,
Owosso, MI

INVOICE 448**DATE** 12/03/2018 **TERMS** Due on receipt**DUE DATE** 01/10/2019

ACTIVITY	AMOUNT
Plaster Demolition	8,300.00
Remove plaster from entire ceiling to edges of cornice and ceiling medallion.	
Support medallion	
Clean lathe from behind medallion stabilize with polymer hardeners and re-key	
Restore the medallion	
Staple all wood lathe	
Replace ceiling with fiber reinforced structolite plaster and finish with traditional lime putty plaster	
Repair the plaster trim on the south and west sides of the room	
Demolition work to begin Jan 14 2019. Satabilization of center medallion on Jan. 15.	
Restoration of ceiling and ornament to begin Jan28, work is estimated to be complete by end of week.	
Payment of 50% due at start of work on Jan 14. Balance due on date of completion.	

TOTAL DUE**\$8,300.00**



152 East Howard Street
Owosso MI 48867
989-729-9473

Estimate

DATE	ESTIMATE ...
12/12/2018	4941

NAME / ADDRESS
Owosso Historical Commission 301 West Main Owosso MI 48867

TERMS	PROJECT
Net 30	

ITEM	QTY	DESCRIPTION	TOTAL
Item		Below estimate includes all Labor and Material to complete the following:	
Item		Install (13) Recess cans in ceiling of Front Room.	
Item		Install (2) new dimmer switches (1) by each door.	
Item		Run new home run to breaker panel.	
Item		Pull permit and schedule inspection.	
Item		Total.	1,875.00
Note		Price does not include trims those still need to be decided on by customer	
Item	13	Price for trim and led \$149.00 each.	1,937.00
Item		Donation by Ludington Electric.	-1,000.00
Thank you for the opportunity! Please call 729-9473 to schedule.			TOTAL \$2,812.00



MEMORANDUM

301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ WWW.CI.OWOSSO.MI.US

DATE: December 12, 2018
TO: City Council
FROM: Glenn M. Chinavare, Director of Public Services & Utilities
SUBJECT: S. Washington Street Water Main Improvements

RECOMMENDATION:

Authorization to purchase water main repair and replacement components from ETNA Supply of Wixom, Michigan in the amount of \$24,076.21, and East Jordan Iron Works of East Jordan, Michigan in the amount of \$12,144.88.

BACKGROUND:

City of Owosso water distribution crews will remove and replace old water main and upgrade other distribution system components on S. Washington Street from E. Stewart to Milwaukee Street.. Water distribution system upgrades are proposed to commence on or about March 11, 2019 and be completed on or about April 26, 2019. This work will be in coordination with street reconstruction from Gute to Corunna Avenue.

Materials pricing was solicited to sole source providers of water distribution system components. East Jordan Iron Works provides isolation valves and hydrants by city of Owosso specifications. ETNA Supply of Wixom, Michigan is used exclusively for all other distribution components, as no other local area supplier (normally Ferguson Supply) can compete with ETNA Supply pricing. Request waiver of purchasing policy formal Bid requirements, in order to initiate immediate procurement upon approval and authorization.

Pricing for project materials are:

ETNA.....	\$24,076.21	
East Jordan Iron Works.....	\$12,144.88	
Contingency.....	\$3,500.00	Total \$39,721.09

FISCAL IMPACTS:

Materials expense in the amount of \$36,221.09 plus contingency of \$3,500.00 will be provided from the FY2018-2019 Water Capital Fund account 591-901-972.000.

Document originated by:

Glenn M. Chinavare, Director Public Services & Utilities

Attachment: (1) Resolution
(2) Pricing Quote ETNA
(3) Pricing Quote East Jordan

RESOLUTION NO.

**AUTHORIZING PURCHASE OF MATERIAL AND PAYMENT TO
ETNA DISTRIBUTORS, LLC D/B/A ETNA SUPPLY
AND EJ USA, INC. D/B/A EAST JORDAN IRON WORKS
FOR S. WASHINGTON STREET WATER DISTRIBUTION SYSTEM UPGRADES**

WHEREAS, the City of Owosso, Shiawassee County, Michigan, has budgeted from the Water Replacement Fund for the replacement of water mains and water distribution system components, and

WHEREAS, the existing water distribution system infrastructure components along S. Washington Street from E. Stewart Street to Milwaukee Street are in need of upgrades and replacement prior to street reconstruction, and

WHEREAS, the Director of Public Services & Utilities has reviewed the quotes of materials and verified the replacement components needed to upgrade and restore water distribution system piping to full operating capacity, for compliance with AWWA product standards and MDEQ regulations, and recommends authorizing ETNA Distributors, LLC d/b/a ETNA Distributors, LLC d/b/a ETNA Supply to provide materials in the amount of \$24,076.21, and EJ USA, Inc. d/b/a East Jordan Iron Works to provide materials in the amount of \$12,144.88, plus contingency components of up to \$3,500.00.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Owosso, Shiawassee County, Michigan that:

- FIRST: the city of Owosso has heretofore determined that it is advisable, necessary and in the public interest to contract with ETNA Distributors, LLC d/b/a ETNA Distributors, LLC d/b/a ETNA Supply, and EJ USA, Inc. d/b/a East Jordan Iron Works for the purchase of water distribution system components to be used on S. Washington Street, and to waive purchasing policy formal Bid requirements, in order to initiate immediate procurement upon approval and authorization.
- SECOND: the accounts payable department is authorized to submit payment to ETNA Distributors, LLC d/b/a ETNA Distributors, LLC d/b/a ETNA Supply for purchased materials in the amount of \$24,076.21, and EJ USA, Inc. d/b/a East Jordan Iron Works for purchased materials in the amount of \$12,144.88, plus contingency in the amount of \$3,500.00 to be supplier specified at time of need, for a total of \$39,721.09.
- THIRD: the above expenses shall be paid from account no. 591-901-972.000.



ETNA SUPPLY - SAGINAW
1416 N. OUTER DR.
SAGINAW, MI 48601
616 241 5414
Fax 616 241 4786



Quotation

QUOTE DATE	QUOTE NUMBER
11/28/2018	S102871167
ETNA SUPPLY PO Box 772107 DETROIT, MI 48277 P-616 248 9182 F-616 245 9940	
PAGE NO.	
1 of 4	

QUOTE TO:

SHIP TO:

CITY OF OWOSSO
301 W MAIN ST
OWOSSO, MI 48867-2958

CITY OF OWOSSO
522 MILWAUKEE ST
OWOSSO, MI 48867

CUSTOMER NUMBER	JOB NAME / PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON		
13942	S WASHINGTON		Alby Villarreal		
WRITER		SHIP VIA	TERMS	EXPIRE DATE	FREIGHT EXEMPT
John Gonzales Jr.		BID	NET 25TH	12/28/2018	No
ORDER QTY	DESCRIPTION		UNIT PRICE	EXT PRICE	
	<div>SHIPPING INSTRUCTIONS</div> Hours of operation 7am - 3;30pm				
820ft	8 C909 DR18 PVC PIPE 235PSI ULTRABLU Pn: 35162		8.500/ft	6970.00	
12ea	FORD 3/4 BALL VALVE CTS QJ/FIP B41-343-Q-NL *Nonstock - Restock Policy Applies* Pn: 482290		82.000/ea	984.00	
12ea	F1000-4-Q-NL -1 CORP STOP QJ NO LEAD FORD Pn: 168309		51.930/ea	623.16	
3ea	8 DI MJ TEE LESS/ACC Pn: 12656		260.000/ea	780.00	
3ea	8X6 DI MJ TEE LESS/ACC Pn: 63226		219.700/ea	659.10	
6ea	8 DI MJ 45 L/ACC Pn: 72160		142.000/ea	852.00	
2ea	8 DI MJ 22 1/2 LESS/ACC Pn: 30699		138.700/ea	277.40	
50ea	8 ROMAGRIP FOR PVC DOMESTIC RESTRAINT RG-PVC POLYESTER COAT Pn: 307206		39.000/ea	1950.00	
** Continued on Next Page *			Subtotal		
			S&H Charges		
			Amount Due		

Prices are firm for 28 days. Price subject to change after 28 days

** Continued on Next Page *

Prices are firm for 28 days. Price subject to change after 28 days.



ETNA SUPPLY - SAGINAW
1416 N. OUTER DR.
SAGINAW, MI 48601
616 241 5414
Fax 616 241 4786



Quotation

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11/28/2018	S102871167
ETNA SUPPLY PO Box 772107 DETROIT, MI 48277 P-616 248 9182 F-616 245 9940	PAGE NO.
	2 of 4

QUOTE TO:

SHIP TO:

CITY OF OWOSSO
301 W MAIN ST
OWOSSO, MI 48867-2958

CITY OF OWOSSO
522 MILWAUKEE ST
OWOSSO, MI 48867

CUSTOMER NUMBER	JOB NAME / PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON		
13942	S WASHINGTON		Alby Villarreal		
WRITER		SHIP VIA	TERMS	EXPIRE DATE	FREIGHT EXEMPT
John Gonzales Jr.		BID	NET 25TH	12/28/2018	No
ORDER QTY	DESCRIPTION		UNIT PRICE	EXT PRICE	
50ea	8" MJ COR-BLU BOLT AND GASKET SET CONSISTS OF: (1) 8" MJ GASKET (6) 3/4 X 4" MJ COR-BLUE T-BOLTS W/NUTS Pn: 30334		18.000/ea	900.00	
15ea	6 ROMAGRIP FOR PVC DOMESTIC RESTRAIN RG-PVC-D POLYESTER COAT 249-P06-1 Pn: 307203		26.500/ea	397.50	
15ea	6" MJ COR-BLU BOLT AND GASKET SET CONSISTS OF: (1) 6" MJ GASKET (6) 3/4 X 3 1/2 MJ COR-BLUE T-BOLTS W/NUTS Pn: 30244		16.000/ea	240.00	
10ea	TYLER VB 26 TOP SECTION LESS LID Pn: 41009		73.000/ea	730.00	
10ea	TYLER VB 30 BOTTOM SECTION Pn: 44829		56.000/ea	560.00	
10ea	TYLER VB WATER LID DROP IN Pn: 58230		12.500/ea	125.00	
10ea	TYLER VB #6 BASE Pn: 5666		62.000/ea	620.00	
8ea	8 DI MJ CAP LESS/ACC Pn: 70391		95.000/ea	760.00	
** Continued on Next Page *			Subtotal		
			S&H Charges		
			Amount Due		

Prices are firm for 28 days. Price subject to change after 28 days.

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ETNA SUPPLY - SAGINAW
1416 N. OUTER DR.
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11/28/2018	S102871167
ETNA SUPPLY PO Box 772107 DETROIT, MI 48277 P-616 248 9182 F-616 245 9940	PAGE NO.
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QUOTE TO:

SHIP TO:

CITY OF OWOSSO
301 W MAIN ST
OWOSSO, MI 48867-2958

CITY OF OWOSSO
522 MILWAUKEE ST
OWOSSO, MI 48867

CUSTOMER NUMBER	JOB NAME / PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON	
13942	S WASHINGTON		Alby Villarreal	
WRITER	SHIP VIA	TERMS	EXPIRE DATE	FREIGHT EXEMPT
John Gonzales Jr.	BID	NET 25TH	12/28/2018	No
ORDER QTY	DESCRIPTION	UNIT PRICE	EXT PRICE	
8ea	8 ROMAGRIP FOR DI DOMESTIC RESTRAINT RG-DI POLYESTER COAT 248-P08-1 Pn: 359461	31.650/ea	253.20	
8ea	8" MJ COR-BLU BOLT AND GASKET SET CONSISTS OF: (1) 8" MJ GASKET (6) 3/4 X 4" MJ COR-BLUE T-BOLTS W/NUTS Pn: 30334	18.000/ea	144.00	
12ea	FORD 202B-9.62 X 1 CC4 BRASS SADDLE (8X1) W/ BRONZE BALES RANGE 9.05-9.62 202B962CC4 Pn: 73712	136.300/ea	1635.60	
12ea	TYLER SB 30 TOP SECTION W/ LID Pn: 76345	63.000/ea	756.00	
12ea	TYLER SB 39 BOTTOM SECTION Pn: 10583	35.000/ea	420.00	
1000ft	TW12BLUE - 12 GAUGE BLUE COPPER CLAD STEEL SOLID TRACER WIRE - 500FT SPOOL Pn: 51388	0.300/ft	300.00	
4ea	TRACER WIRE ACCESS BOX BLUE Pn: 49178	64.000/ea	256.00	
Subtotal				
S&H Charges				
Amount Due				

** Continued on Next Page *

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ETNA SUPPLY - SAGINAW
1416 N. OUTER DR.
SAGINAW, MI 48601
616 241 5414
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Quotation

QUOTE DATE	QUOTE NUMBER
11/28/2018	S102871167
ETNA SUPPLY PO Box 772107 DETROIT, MI 48277 P-616 248 9182 F-616 245 9940	PAGE NO.
	4 of 4

QUOTE TO:

SHIP TO:

CITY OF OWOSSO
301 W MAIN ST
OWOSSO, MI 48867-2958

CITY OF OWOSSO
522 MILWAUKEE ST
OWOSSO, MI 48867

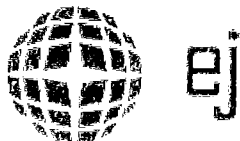
CUSTOMER NUMBER	JOB NAME / PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON	
13942	S WASHINGTON		Alby Villarreal	
WRITER	SHIP VIA	TERMS	EXPIRE DATE	FREIGHT EXEMPT
John Gonzales Jr.	BID	NET 25TH	12/28/2018	No
ORDER QTY	DESCRIPTION		UNIT PRICE	EXT PRICE
8ea	SMITHBLR 274-8 BELL JOINT REP CLP 274-0905-000 Pn: 64214		230.000/ea	1840.00
1ea	8X6 DI MJ RED LESS ACC Pn: 53120		116.950/ea	116.95
3ea	12 DI MJ CAP LESS/ACC Pn: 25085		153.250/ea	459.75
3ea	12 ROMAGRIP FOR DI DOMESTIC RESTRAINT RG-DI POLYESTER COAT Pn: 359463		68.150/ea	204.45
3ea	12" MJ COR-BLU BOLT AND GASKET SET CONSISTS OF: (1) 12" MJ GASKET (8) 3/4 X 4" MJ COR-BLUE T-BOLTS W/NUTS Pn: 16687		20.700/ea	62.10
40ft	6 C909 DR18 PVC PIPE 235PSI ULTRABLUE Pn: 35099		5.000/ft	200.00

This Quotation is controlled by ETNA's standard terms and conditions ("ETNA's Standard Terms") found at <https://www.etnasupply.com/TermsandConditionsofQuotation>. Any other terms are expressly rejected. To the extent there is a conflict between any of the terms appearing on the face of this Quotation and ETNA's Standard Terms, the terms appearing on the face of the Quotation control. TAXES ARE NOT INCLUDED ON THIS QUOTE!

Prices are firm for 28 days. Price subject to change after 28 days.

Subtotal	24076.21
S&H Charges	0.00
Amount Due	24076.21

55 ± 12144.88
36,221.09



Quotation

ejco.com
800 626 4653

Account Name City of Owosso
Ship to 301 West Main Street, Owosso, MI, US, 48867
Bill to Attention Accounts Payable 301 West Main Street, Owosso, MI, US, 48867
Full Name Paul Oberlin
Business Phone 989-725-0572
Email paul.oberlin@ci.owosso.mi.us
Business Fax 989-725-0525
Close Date 12/7/2018

Quote Number 00250301
Quote Name South Washington
Created Date 11/28/2018
Expiration Date
Prepared by Doug Schrauben
Email doug.schrauben@ejco.com
Phone
Fax

Quantity	Product N°	Line Item Description	Notes	Unit Price USD	Total Price USD
7	22032	6" Resilient Wedge Gate Valve, Mechanical Joint End Connections, 2" Operating Nut, Open Right	Stock in Sunfield MI	505.00	3535.00
3	22042	8" Resilient Wedge Gate Valve, Mechanical Joint End Connections, 2" Operating Nut, Open Right	Stock in Sunfield MI	819.99	2459.97
3	54727D	5BR250 5'-6" bury, 1 1/8" Pentagon, 2-3 3/4"NST& 1-5" Storz Nozzle, Yellow, MJ Connection, Open Right, Drains Tapped and Plugged	3 weeks to stock in Sunfield MI	2049.97	6149.91

Subtotal 12144.88 USD
Grand Total 12144.88 USD

Notes and Comments



MEMORANDUM

301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ WWW.CI.OWOSSO.MI.US

DATE: December 12, 2018
TO: City Council
FROM: Glenn M. Chinavare, Director of Public Services & Utilities
SUBJECT: Seventh Street Water Main Improvements

RECOMMENDATION:

Authorization to purchase water main repair and replacement components from ETNA Supply of Wixom, Michigan in the amount of \$24,584.66, and East Jordan Iron Works of East Jordan, Michigan in the amount of \$12,679.85.

BACKGROUND:

City of Owosso water distribution crews will remove and replace old water main and upgrade other distribution system components on Seventh Street from W. Oliver to W. King. Water distribution system upgrades are proposed to commence on or about April 29, 2019 and be completed on or about June 28, 2019. This work will be in coordination with street rehabilitation from Oliver Street to King Street.

Materials pricing was solicited to sole source providers of water distribution system components. East Jordan Iron Works provides isolation valves and hydrants by city of Owosso specifications. ETNA Supply of Wixom, Michigan is used exclusively for all other distribution components, as no other local area supplier (normally Ferguson Supply) can compete with ETNA Supply pricing. Request waiver of purchasing policy formal Bid requirements, in order to initiate immediate procurement upon approval and authorization.

Pricing for project materials are:

ETNA.....	\$24,584.66	
East Jordan Iron Works.....	\$12,679.85	
Contingency.....	\$3,500.00	Total \$40,764.51

FISCAL IMPACTS:

Materials expense in the amount of \$37,264.51 plus contingency of \$3,500.00 will be provided from the FY2018-2019 Water Capital Fund account 591-901-972.000.

Document originated by:

Glenn M. Chinavare, Director Public Services & Utilities

Attachment: (1) Resolution
(2) Pricing Quote ETNA
(3) Pricing Quote East Jordan

RESOLUTION NO.

**AUTHORIZING PURCHASE OF MATERIAL AND PAYMENT TO
ETNA DISTRIBUTORS, LLC D/B/A ETNA SUPPLY
AND EJ USA, INC. D/B/A EAST JORDAN IRON WORKS
FOR SEVENTH STREET WATER DISTRIBUTION SYSTEM UPGRADES**

WHEREAS, the City of Owosso, Shiawassee County, Michigan, has budgeted from the Water Replacement Fund for the replacement of water mains and water distribution system components, and

WHEREAS, the existing water distribution system infrastructure components along Seventh Street from W. Oliver Street to W. King Street are in need of upgrades and replacement prior to street rehabilitation, and

WHEREAS, the Director of Public Services & Utilities has reviewed the quotes of materials and verified the replacement components needed to upgrade and restore water distribution system piping to full operating capacity, for compliance with AWWA product standards and MDEQ regulations, and recommends authorizing ETNA Distributors, LLC d/b/a ETNA Supply to provide materials in the amount of \$24,584.66, and EJ USA, Inc. d/b/a East Jordan Iron Works to provide materials in the amount of \$12,679.85, plus contingency components of up to \$3,500.00.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Owosso, Shiawassee County, Michigan that:

- FIRST: The city of Owosso has heretofore determined that it is advisable, necessary and in the public interest to contract with ETNA Distributors, LLC d/b/a ETNA Supply, and EJ USA, Inc. d/b/a East Jordan Iron Works for the purchase of water distribution system components to be used on Seventh Street, and to waive purchasing policy formal Bid requirements, in order to initiate immediate procurement upon approval and authorization.
- SECOND: The accounts payable department is authorized to submit payment to ETNA Distributors, LLC d/b/a ETNA Supply for purchased materials in the amount of \$24,584.66, and EJ USA, Inc. d/b/a East Jordan Iron Works for purchased materials in the amount of \$12,679.85, plus contingency in the amount of \$3,500.00 to be supplier specified at time of need, for a total of \$40,764.51.
- THIRD: The above expenses shall be paid from account no. 591-901-972.000.



ETNA SUPPLY - SAGINAW
1416 N. OUTER DR.
SAGINAW, MI 48601
616 241 5414
Fax 616 241 4786



Quotation

QUOTE DATE	QUOTE NUMBER
11/28/2018	S102872438
ETNA SUPPLY PO Box 772107 DETROIT, MI 48277 P-616 248 9182 F-616 245 8940	PAGE NO.
	1 of 4

QUOTE TO:

SHIP TO:

CITY OF OWOSSO
301 W MAIN ST
OWOSSO, MI 48867-2958

CITY OF OWOSSO
522 MILWAUKEE ST
OWOSSO, MI 48867

CUSTOMER NUMBER	JOB NAME / PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON	
13942	SEVENTH ST		Alby Villarreal	
WRITER	SHIP VIA	TERMS	EXPIRE DATE	FREIGHT EXEMPT
John Gonzales Jr.	BID	NET 25TH	12/28/2018	No
ORDER QTY	DESCRIPTION	UNIT PRICE	EXT PRICE	
	SHIPPING INSTRUCTIONS Hours of operation 7am - 3:30pm			
1200ft	8 C909 DR18 PVC PIPE 235PSI ULTRABLU Pn: 35162	8.500/ft	10200.00	
20ft	6 C909 DR18 PVC PIPE 235PSI ULTRABLU Pn: 35099	5.000/ft	100.00	
1500ft	TW12BLUE - 12 GAUGE BLUE COPPER CLAD STEEL SOLID TRACER WIRE - 500FT SPOOL Pn: 51388	0.300/ft	450.00	
5ea	TRACER WIRE ACCESS BOX BLUE Pn: 49178	64.000/ea	320.00	
8ea	TYLER VB 26 TOP SECTION LESS LID Pn: 41009	73.000/ea	584.00	
8ea	TYLER VB 30 BOTTOM SECTION Pn: 44829	56.000/ea	448.00	
8ea	TYLER VB WATER LID DROP IN Pn: 58230	12.500/ea	100.00	
8ea	TYLER VB #6 BASE Pn: 5666	62.000/ea	496.00	
4ea	8 DI MJ 45 L/ACC Pn: 72160	142.000/ea	568.00	
		Subtotal		
		S&H Charges		
		Amount Due		

** Continued on Next Page **

Prices are firm for 28 days. Price subject to change after 28 days.



ETNA SUPPLY - SAGINAW
1416 N. OUTER DR.
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Quotation

QUOTE DATE	QUOTE NUMBER
11/28/2018	S102872438
ETNA SUPPLY PO Box 772107 DETROIT, MI 48277 P-616 248 9182 F-616 245 9940	PAGE NO.
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QUOTE TO:

SHIP TO:

CITY OF OWOSSO
301 W MAIN ST
OWOSSO, MI 48867-2958

CITY OF OWOSSO
522 MILWAUKEE ST
OWOSSO, MI 48867

CUSTOMER NUMBER	JOB NAME / PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON	
13942	SEVENTH ST		Alby Villarreal	
WRITER	SHIP VIA	TERMS	EXPIRE DATE	FREIGHT EXEMPT
John Gonzales Jr.	BID	NET 25TH	12/28/2018	No
ORDER QTY	DESCRIPTION	UNIT PRICE	EXT PRICE	
1ea	8 DI MJ TEE LESS/ACC Pn: 12656	260.000/ea	260.00	
4ea	8X6 DI MJ TEE LESS/ACC Pn: 63226	219.700/ea	878.80	
2ea	8X6 DI MJ RED LESS ACC Pn: 53120	116.950/ea	233.90	
24ea	8 ROMAGRIP FOR PVC DOMESTIC RESTRAINT RG-PVC POLYESTER COAT Pn: 307206	39.000/ea	936.00	
24ea	8" MJ COR-BLU BOLT AND GASKET SET CONSISTS OF: (1) 8" MJ GASKET (6) 3/4 X 4" MJ COR-BLUE T-BOLTS W/NUTS Pn: 30334	18.000/ea	432.00	
24ea	6 ROMAGRIP FOR PVC DOMESTIC RESTRAIN RG-PVC-D POLYESTER COAT 249-P06-1 Pn: 307203	26.500/ea	636.00	
24ea	6" MJ COR-BLU BOLT AND GASKET SET CONSISTS OF: (1) 6" MJ GASKET (6) 3/4 X 31/2 MJ COR-BLUE T-BOLTS W/NUTS Pn: 30244	16.000/ea	384.00	
Subtotal				
S&H Charges				
Amount Due				

** Continued on Next Page *

Prices are firm for 28 days. Price subject to change after 28 days.



ETNA SUPPLY - SAGINAW
1416 N. OUTER DR.
SAGINAW, MI 48601
616 241 5414
Fax 616 241 4786



Quotation

QUOTE DATE	QUOTE NUMBER
11/28/2018	S102872438
ETNA SUPPLY PO Box 772107 DETROIT, MI 48277 P-616 248 9182 F-616 245 9940	PAGE NO.
	3 of 4

QUOTE TO:

SHIP TO:

CITY OF OWOSSO
301 W MAIN ST
OWOSSO, MI 48867-2958

CITY OF OWOSSO
522 MILWAUKEE ST
OWOSSO, MI 48867

CUSTOMER NUMBER	JOB NAME / PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON	
13942	SEVENTH ST		Alby Villarreal	
WRITER	SHIP VIA	TERMS	EXPIRE DATE	FREIGHT EXEMPT
John Gonzales Jr.	BID	NET 25TH	12/28/2018	No
ORDER QTY	DESCRIPTION	UNIT PRICE	EXT PRICE	
8ea	SMITHBLR 274-8 BELL JOINT REP CLP 274-0905-000 Pn: 64214	230.000/ea	1840.00	
12ea	TYLER SB 30 TOP SECTION W/ LID Pn: 76345	63.000/ea	756.00	
12ea	TYLER SB 39 BOTTOM SECTION Pn: 10583	35.000/ea	420.00	
12ea	FORD 202B-9.62 X 1 CC4 BRASS SADDLE (8X1) W/ BRONZE BALES RANGE 9.05-9.62 202B962CC4 Pn: 73712	184.000/ea	2208.00	
12ea	F1000-4-Q-NL -1 CORP STOP QJ NO LEAD FORD Pn: 168309	51.930/ea	623.16	
12ea	FORD 3/4 BALL VALVE CTS QJ/FIP B41-343-Q-NL *Nonstock - Restock Policy Applies* Pn: 482290	82.000/ea	984.00	
12ea	C45-34-Q-NL 3/4" PJ/CTS X 1" PJ/IP FORD COUPLING (NO LEAD) *Nonstock - Restock Policy Applies* Pn: 301404	28.000/ea	336.00	
Subtotal				
S&H Charges				
Amount Due				

** Continued on Next Page *

Prices are firm for 28 days. Price subject to change after 28 days.



ETNA SUPPLY - SAGINAW
1416 N. OUTER DR.
SAGINAW, MI 48601
616 241 5414
Fax 616 241 4786



Quotation

QUOTE DATE	QUOTE NUMBER
11/28/2018	S102872438
ETNA SUPPLY PO Box 772107 DETROIT, MI 48277 P-616 248 9182 F-616 245 9940	PAGE NO.
	4 of 4

QUOTE TO:

SHIP TO:

CITY OF OWOSSO
301 W MAIN ST
OWOSSO, MI 48867-2958

CITY OF OWOSSO
522 MILWAUKEE ST
OWOSSO, MI 48867

CUSTOMER NUMBER	JOB NAME / PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON		
13942	SEVENTH ST		Alby Villarreal		
WRITER		SHIP VIA	TERMS	EXPIRE DATE	FREIGHT EXEMPT
John Gonzales Jr.		BID	NET 25TH	12/28/2018	No
ORDER QTY	DESCRIPTION		UNIT PRICE		EXT PRICE
8ea	8 ROMAGRIP FOR DI DOMESTIC RESTRAINT RG-DI POLYESTER COAT 248-P08-1 Pn: 359461		30.850/ea		246.80
8ea	8" MJ COR-BLU BOLT AND GASKET SET CONSISTS OF: (1) 8" MJ GASKET (6) 3/4 X 4" MJ COR-BLUE T-BOLTS W/NUTS Pn: 30334		18.000/ea		144.00
<div>This Quotation is controlled by ETNA's standard terms and conditions ("ETNA's Standard Terms") found at https://www.etnasupply.com/TermsandConditionsofQuotation Any other terms are expressly rejected. To the extent there is a conflict between any of the terms appearing on the face of this Quotation and ETNA's Standard Terms, the terms appearing on the face of the Quotation control. TAXES ARE NOT INCLUDED ON THIS QUOTE! Prices are firm for 28 days. Price subject to change after 28 days.</div>			Subtotal		24584.66
			S&H Charges		0.00
			Amount Due		24584.66

ET + 12679.85
37,264.51



ej

Quotation

ejco.com

800 626 4653

Account Name City of Owosso
Ship to 301 West Main Street, Owosso, MI, US, 48867
Bill to Attention Accounts Payable 301 West Main Street, Owosso, MI, US, 48867
Full Name Paul Oberlin
Business Phone 989-725-0572
Email paul.oberlin@ci.owosso.mi.us
Business Fax 989-725-0525
Close Date 12/7/2018

Quote Number 00250282
Quote Name Hydrant quote
Created Date 11/28/2018
Expiration Date
Prepared by Doug Schrauben
Email doug.schrauben@ejco.com
Phone
Fax

Seventh st.

Quantity	Product N°	Line Item Description	Notes	Sales Price (USD)	Total Price (USD)
4	22032	6" Resilient Wedge Gate Valve, Mechanical Joint End Connections, 2" Operating Nut, Open Right	stock in Sunfield MI	505.00	2020.00
3	22042	8" Resilient Wedge Gate Valve, Mechanical Joint End Connections, 2" Operating Nut, Open Right	stock in Sunfield MI	819.99	2459.97
4	54727D	5BR250 5'-6" bury, 1 1/8" Pentagon, 2-3 3/4" NST & 1-5" Storz Nozzle, Yellow, MJ Connection, Open Right, Drains Tapped and Plugged	3 week lead time to stock in Sunfield MI	2049.97	8199.88

Subtotal 12679.85 USD
Grand Total 12679.85 USD

Notes and Comments



Warrant 565
December 11, 2018

Vendor	Description	Fund	Amount
Michigan Municipal Risk Management Authority	Building and property insurance-3 rd installment	Various	\$57,969.00
Total			\$57,969.00

CHECK REGISTER FOR CITY OF OWOSSO
CHECK DATE FROM 11/01/2018 - 11/30/2018

Check Date	Bank	Check	Vendor Name	Description	Amount
Bank 1 GENERAL FUND (POOLED CASH)					
11/09/2018	1	130505	AFLAC	PAYROLL DEDUCTION-AFLAC PREMIUM	\$ 912.04
11/09/2018	1	130506	H K ALLEN PAPER CO	SUPPLIES	\$ 467.95
11/09/2018	1	130507	B S & A SOFTWARE	TAX SYSTEM-ANNUAL SERVICE/SUPPORT	\$ 1,418.00
11/09/2018	1	130508	BARTZ EXCAVATING	BD Bond Refund	\$ 550.00
11/09/2018	1	130509	BASIC	QUALIFYING EVENT LETTERS	\$ 60.00
11/09/2018	1	130510	DAWSON DWIGHT	UB refund for account: 1432030001	\$ 289.52
11/09/2018	1	130511	CHEMCO SYSTEMS LP	ROTARY FEEDER PADDLES	\$ 386.59
11/09/2018	1	130512	JUDY ELAINE CRAIG	COURIER SERVICE	\$ 198.00
11/09/2018	1	130513	D & D TRUCK & TRAILER PARTS	PARTS	\$ 494.65
11/09/2018	1	130514	DAVID AND MARY ADAMS	REIMBURSEMENT	\$ 1,750.00
11/09/2018	1	130515	ECKERSON, MICHELLE	REIMBURSEMENT	\$ 1,200.00
11/09/2018	1	130516	ELHORN ENGINEERING COMPANY	ACCU-TAB SL (CALCIUM HYPOCHLORITE) TABLETS	\$ 4,408.00
11/09/2018	1	130517	ESO SOLUTIONS INC	SOFTWARE	\$ 1,790.00
11/09/2018	1	130518	FIRST BANKCARD	TRAINING-AMY CYPHERT	\$ 10.00
11/09/2018	1	130519	FIRST DUE FIRE SUPPLY	FIRE GEAR FOR MCKAY AND CHAPKO	\$ 4,130.96
11/09/2018	1	130520	GENESYS EMS EDUCATION	ACLS UPDATE/RECERT-MCKAY AND NOWSKI	VOID
11/09/2018	1	130521	GLOCK PROFESSIONAL INC	ARMORERS COURSE-JASON SCHMITZ	\$ 500.00
11/09/2018	1	130522	H2O COMPLIANCE SERVICES INC	INSPECTION SERVICES FOR CROSS CONNECTION PROGRAM	\$ 731.25
11/09/2018	1	130523	HAASE, KEITH	REIMBURSEMENT	\$ 1,900.00
11/09/2018	1	130524	DAVID HAUT	REIMBURSEMENT	\$ 50.87
11/09/2018	1	130525	HOME DEPOT CREDIT SERVICES	SUPPLIES	\$ 1,316.08
11/09/2018	1	130526	JAMES AND LINDA JONES	REIMBURSEMENT	VOID
11/09/2018	1	130527	KENT COMMUNICATIONS INC	PRINTING/MAILING SERVICES FOR PERSONAL PROPERTY STMS	\$ 144.33
11/09/2018	1	130528	JEFF KISH	REIMBURSEMENT	\$ 339.98
11/09/2018	1	130529	LAFLEUR, CINDY	REIMBURSEMENT	\$ 1,570.00
11/09/2018	1	130530	LAMPHERE'S	METER INSTALLATION	\$ 1,993.28
11/09/2018	1	130531	MICHIGAN ASSOCIATION OF FIRE CHIEFS	2019 MEMBERSHIP-KEVIN LENKART	\$ 85.00
11/09/2018	1	130532	MISDU	PAYROLL DEDUCTIONS	\$ 1,228.26
11/09/2018	1	130533	NORTHSIDE ANIMAL HOSPITAL	VET SERVICES-PAID FOR BY DONATIONS	\$ 673.87
11/09/2018	1	130534	OPANASENKO, MICHAEL	REIMBURSEMENT	\$ 1,500.00
11/09/2018	1	130535	ORKIN 551-LANSING MI	TREATMENT FOR MEDIC 3	\$ 400.00
11/09/2018	1	130536	SUSAN J. OSIKA	REIMBURSEMENT	\$ 25.65

11/09/2018	1	130537	OWOSSO BOLT & BRASS CO	PARTS	\$	330.32
11/09/2018	1	130538	OWOSSO PUBLIC SCHOOLS	DELINQUENT PERSONAL PROPERTY DISBURSEMENT	\$	988.20
11/09/2018	1	130539	P K CONTRACTING INC	2018 PAVEMENT MARKINGS OF MAJOR STREETS	\$	3,172.03
11/09/2018	1	130540	POLICE OFFICERS LABOR COUNCIL	PAYROLL DEDUCTION-POLICE UNION DUES	\$	854.25
11/09/2018	1	130541	ANDREW REED	REIMBURSEMENT	\$	30.00
11/09/2018	1	130542	RICOH USA	MAINTENANCE/SUPPLIES FOR COPIERS	\$	1,311.19
11/09/2018	1	130543	SHIAWASSEE COUNTY TREASURER	DELINQUENT PERSONAL PROPERTY TAX	\$	753.05
11/09/2018	1	130544	SHIAWASSEE COUNTY TREASURER	TAX DISBURSEMENT	\$	10,072.95
11/09/2018	1	130545	SHIAWASSEE DISTRICT LIBRARY	DELINQUENT PERSONAL PROPERTY DISBURSEMENT	\$	136.53
11/09/2018	1	130546	SPARTAN STORES LLC	TAILGATE PARTY ITEMS-PAID FOR BY EMPLOYEE DONATIONS	\$	11.04
11/09/2018	1	130547	STATE OF MICHIGAN	ASSESSOR CERTIFICATION-TREENA CHICK	\$	175.00
11/09/2018	1	130548	STATE OF MICHIGAN	ACTIVATION OF RADIO	\$	250.00
11/09/2018	1	130549	STATE OF MICHIGAN	COMMUNITY PUBLIC WATER SUPPLY ANNUAL FEE	\$	5,853.46
11/09/2018	1	130550	TRACTOR SUPPLY COMPANY	CAT VAX-PAID FOR BY DONATIONS	\$	71.37
11/09/2018	1	130551	TX CHILD SUPPORT SDU	PAYROLL DEDUCTION	\$	143.08
11/09/2018	1	130552	UNITED PARCEL SERVICE	SHIPPING FEES	\$	15.74
11/09/2018	1	130553	VALLEY LUMBER	TREATED LUMBER FOR WWTP	\$	15.98
11/09/2018	1	130554	WEB ASCENDER	WEBSITE HOSTING-OCT/NOV/DEC 2018	\$	150.00
11/09/2018	1	130555	WIN'S ELECTRICAL SUPPLY OF OWOSSO	SUPPLIES	\$	669.27
11/09/2018	1	3704(A)	THE ACCUMED GROUP	ANNUAL SUPPORT FEE AND AMBULANCE BILLING SERVICE	\$	11,745.27
11/09/2018	1	3705(A)	ALS LABORATORY GROUP	WASTEWATER ANALYSES	\$	260.00
11/09/2018	1	3706(A)	AMAZON CAPITAL SERVICES	SUPPLIES	\$	167.76
11/09/2018	1	3707(A)	APPLIED SPECIALTIES INC	LIMECURE-25	\$	4,356.00
11/09/2018	1	3708(A)	MICHAEL LEVERE ASH	SCHOOL LIAISON OFFICER-70.5/HRS	\$	1,290.15
11/09/2018	1	3709(A)	LOREEN F BAILEY	REIMBURSEMENT	\$	10.98
11/09/2018	1	3710(A)	BIO-CARE INC	RESPIRATORY SURVEILLANCE PROGRAM	\$	1,794.00
11/09/2018	1	3711(A)	NANCY L BLAIR	ELECTION ASSISTANCE	\$	590.00
11/09/2018	1	3712(A)	BOUND TREE MEDICAL LLC	AMBULANCE MEDICAL SUPPLIES	\$	946.19
11/09/2018	1	3713(A)	C D W GOVERNMENT, INC.	SUPPLIES	\$	401.50
11/09/2018	1	3714(A)	CARMEUSE LIME	BULK PEBBLE QUICKLIME-39.51/TONS	\$	5,318.44
11/09/2018	1	3715(A)	CENTRON DATA SERVICES, INC.	2018 WINTER TAX BILLS-POSTAGE ADVANCE	\$	2,600.00
11/09/2018	1	3716(A)	CINTAS CORPORATION #308	FLOOR MATS	\$	25.00
11/09/2018	1	3717(A)	CONSUMERS ENERGY	GAS/ELECTRIC USAGE	\$	30,686.77
11/09/2018	1	3718(A)	EMPLOYEE BENEFIT CONCEPTS INC	NOVEMBER 2018-FSA ADMIN FEE	\$	100.00
11/09/2018	1	3719(A)	ENLOW ENVIRO LLC	SUPPLIES	\$	578.42
11/09/2018	1	3720(A)	ETNA SUPPLY COMPANY	INVENTORY ITEMS/SUPPLIES	\$	1,942.75
11/09/2018	1	3721(A)	FAMILY FARM & HOME	LIVE TRAPS/CAT FOOD	\$	31.37
11/09/2018	1	3722(A)	FASTENAL COMPANY	PARTS	\$	175.12

11/09/2018	1	3723(A)	FLEIS & VANDENBRINK ENGINEERING INC	2018 STREET PROGRAM ENGINEERING SERVICES	\$	21,442.33
11/09/2018	1	3724(A)	GILBERT'S DO IT BEST HARDWARE & APP	SUPPLIES	\$	168.23
11/09/2018	1	3725(A)	GOYETTE MECHANICAL	MAINTENANCE CONTRACT FOR BOILER IN PUBLIC SAFETY BUILD	\$	390.00
11/09/2018	1	3726(A)	GRAINGER, INC.	ROOF DRAIN	\$	111.16
11/09/2018	1	3727(A)	H2A ARCHITECTS INC	FACADE PROJECTS	\$	1,080.00
11/09/2018	1	3728(A)	J & H OIL COMPANY	FUEL PE 10/16/18-10/31/18	\$	7,418.89
11/09/2018	1	3729(A)	J & M TREE SERVICE	2018 GRASS MOWING PROGRAM	\$	883.00
11/09/2018	1	3730(A)	LOGICALIS INC	OCTOBER 2018-NETWORK ADMINISTRATOR/ENGINEERING	\$	7,056.00
11/09/2018	1	3731(A)	LUDINGTON ELECTRIC, INC.	TROUBLESHOOTING AT WTP	\$	219.78
11/09/2018	1	3732(A)	MATHESON TRI-GAS INC	BULK CARBON DIOXIDE (CO2)	\$	2,046.48
11/09/2018	1	3733(A)	MCMASTER-CARR SUPPLY CO	SUPPLIES	\$	43.63
11/09/2018	1	3734(A)	MEI TOTAL ELEVATOR SOLUTIONS	CITY HALL ELEVATOR SERVICE AGREEMENT	\$	130.00
11/09/2018	1	3735(A)	MICHIGAN WATER ENVIRONMENT ASSOCIA	BASIC HEALTH/SAFETY PRACTICES & MEMBERSHIP	\$	340.00
11/09/2018	1	3736(A)	1ST CHOICE AUTO PARTS INC	PARTS	\$	845.81
11/09/2018	1	3737(A)	NEOPOST USA INC	METER RENTAL/MAINTENANCE-12/1/18-2/28/19	\$	287.10
11/09/2018	1	3738(A)	ORCHARD HILTZ & MCCLIMENT INC	GIS-GEODATABASE SUPPORT SERVICES	\$	19,718.75
11/09/2018	1	3739(A)	POLYDYNE INC	AF 4500 POLYMER	\$	2,451.60
11/09/2018	1	3740(A)	PRO-COMM INC	SERVICE ON PAGING APPARATUS	\$	60.00
11/09/2018	1	3741(A)	PURE WINDOW WASHING	WINDOW CLEANING OF OWOSSO CITY HALL BUILDING	\$	600.00
11/09/2018	1	3742(A)	REPUBLIC SERVICES #237	NOVEMBER 2018-REFUSE SERVICE	\$	389.40
11/09/2018	1	3743(A)	SLC METER LLC	AMR PROJECT PARTS	\$	1,159.24
11/09/2018	1	3744(A)	SOLARWINDS	DAMEWARE REMOTE SUPPORT-12/28/18-12/28/19	\$	136.00
11/09/2018	1	3745(A)	SPICER GROUP, INC.	ENGINEERING SERVICES	\$	50,194.02
11/09/2018	1	3746(A)	STAPLES BUSINESS CREDIT	SUPPLIES	\$	316.93
11/09/2018	1	3747(A)	BRYAN GLEN THOMAS	OCTOBER 2018-ELECTRICAL INSPECTIONS	\$	600.00
11/09/2018	1	3748(A)	TRUCK & TRAILER SPECIALTIES	NEW DUMP TRUCKS (2)	\$	101,986.00
11/09/2018	1	3749(A)	E H WACHS	VALVE TURNER OPERATING SYSTEM	\$	72,125.00
11/09/2018	1	3750(A)	WASTE MANAGEMENT OF MICHIGAN INC	LANDFILL DISPOSAL CHARGES-10/16/18-10/31/18	\$	7,149.98
11/09/2018	1	3751(A)	MICHAEL GENE WHEELER	SCHOOL LIAISON OFFICER-69 HRS	\$	1,262.70
11/09/2018	1	3752(A)	ZOLL MEDICAL CORPORATION	REPAIR	\$	285.00
11/16/2018	1	130556	DEBRA ADAMS	ELECTION WORK	\$	170.00
11/16/2018	1	130557	AERO COMMUNICATIONS	BD Bond Refund	\$	50.00
11/16/2018	1	130558	NANCY ARRIAGA	ELECTION WORK	\$	167.50
11/16/2018	1	130559	ASCENSION MICHIGAN CORPORATE SERVICI	ACLS UPDATE-SEPT 2018-MCKAY AND NOWSKI	\$	350.00
11/16/2018	1	130560	TRENA ASH	ELECTION WORK	\$	160.00
11/16/2018	1	130561	JOAN AUE	ELECTION WORK	\$	212.50
11/16/2018	1	130562	LORRAINE AUSTIN	ELECTION WORK	\$	175.00
11/16/2018	1	130563	NANCY BARNES	ELECTION WORK	\$	187.50

11/16/2018	1	130564	CATHERINE V BAUMGARDNER	ELECTION WORK	\$	165.00
11/16/2018	1	130565	HANORA WEEKS BIGNALL	ELECTION WORK	\$	65.00
11/16/2018	1	130566	BROOKE BREWBAKER	ELECTION WORK	\$	197.50
11/16/2018	1	130567	ROBERT BROCKWAY-DORAN	ELECTION WORK	\$	90.00
11/16/2018	1	130568	DIANA BROWN	ELECTION WORK	\$	90.00
11/16/2018	1	130569	NATHAN BUMP	ELECTION WORK	\$	95.00
11/16/2018	1	130570	CARLTON TREE SERVICE	BD Bond Refund	\$	50.00
11/16/2018	1	130571	CENTRAL MICHIGAN INDUSTRIES	BD Bond Refund	\$	50.00
11/16/2018	1	130572	JEAN E CLINE	ELECTION WORK	\$	165.00
11/16/2018	1	130573	COBB, GREG AND LINDA	REIMBURSEMENT	\$	800.00
11/16/2018	1	130574	SHELLEY COOK	ELECTION WORK	\$	65.00
11/16/2018	1	130575	CORDIER EXCAVATING	BD Bond Refund	\$	250.00
11/16/2018	1	130576	ROSE MARY CRAFT	ELECTION WORK	\$	197.50
11/16/2018	1	130577	HEATHER CRAMER	ELECTION WORK	\$	170.00
11/16/2018	1	130578	ADAM DAHL	ELECTION WORK	\$	85.00
11/16/2018	1	130579	ALAINA DAVIS	ELECTION WORK	\$	95.00
11/16/2018	1	130580	DEKE'S INC.	BD Bond Refund	\$	50.00
11/16/2018	1	130581	AIMEE DELONG	ELECTION WORK	\$	165.00
11/16/2018	1	130582	FREDERICK G DIBEAN	ELECTION WORK	\$	207.50
11/16/2018	1	130583	JUNE DWYER	ELECTION WORK	\$	165.00
11/16/2018	1	130584	MICHAEL ECKMYRE	ELECTION WORK	\$	212.50
11/16/2018	1	130585	SUZANNE EDWARDS	ELECTION WORK	\$	212.50
11/16/2018	1	130586	MADISON FAUTH	ELECTION WORK	\$	95.00
11/16/2018	1	130587	FISHER CHIPPEWA REDI-MIX, INC.	CONCRETE FOR WWTP	\$	318.00
11/16/2018	1	130588	JOHN L. FORBES	ELECTION WORK	\$	197.50
11/16/2018	1	130589	JAY FULKERSON	ELECTION WORK	\$	85.00
11/16/2018	1	130590	JUDITH FULKERSON	ELECTION WORK	\$	85.00
11/16/2018	1	130591	JUNE GARNER	ELECTION WORK	\$	85.00
11/16/2018	1	130592	LINDA GESSNER	ELECTION WORK	\$	165.00
11/16/2018	1	130593	DEBRA GILBERT	ELECTION WORK	\$	172.50
11/16/2018	1	130594	H & G IRRIGATION	BD Bond Refund	\$	50.00
11/16/2018	1	130595	LINDA SUE HARRIS	ELECTION WORK	\$	5.00
11/16/2018	1	130596	REBECCA HATHAWAY	ELECTION WORK	\$	165.00
11/16/2018	1	130597	JACKIE HESLIP	ELECTION WORK	\$	165.00
11/16/2018	1	130598	MORGAN HESLIP	ELECTION WORK	\$	165.00
11/16/2018	1	130599	JONI ILER	ELECTION WORK	\$	95.00
11/16/2018	1	130600	BONNIE IRBY	ELECTION WORK	\$	165.00
11/16/2018	1	130601	JONES, JAMES	REIMBURSEMENT	\$	1,000.00

11/16/2018	1	130602	MEREDITH KEATING	ELECTION WORK	\$	170.00
11/16/2018	1	130603	LINDA KEMP	ELECTION WORK	\$	130.00
11/16/2018	1	130604	LINDA L KENNEY	ELECTION WORK	\$	172.50
11/16/2018	1	130605	KYLA KINNEY	ELECTION WORK	\$	95.00
11/16/2018	1	130606	EDWARD KOHAGEN	ELECTION WORK	\$	60.00
11/16/2018	1	130607	MICHAEL KOHAGEN	ELECTION WORK	\$	25.00
11/16/2018	1	130608	ALLIE LANGDON	ELECTION WORK	\$	95.00
11/16/2018	1	130609	CAROLYN LAWRENCE	ELECTION WORK	\$	85.00
11/16/2018	1	130610	LENNOX ELECTRIC	ROOF TOP MOUNT HVAC UNIT	\$	7,050.00
11/16/2018	1	130611	LEON'S LANDMARK CONSTRUCTION	BD Bond Refund	\$	50.00
11/16/2018	1	130612	KYLIE LEWIS	ELECTION WORK	\$	95.00
11/16/2018	1	130613	FRANK LIVINGSTON	ELECTION WORK	\$	160.00
11/16/2018	1	130614	GAIL L LOVE	ELECTION WORK	\$	160.00
11/16/2018	1	130615	RICHARD LOWE	ELECTION WORK	\$	20.00
11/16/2018	1	130616	BILLY LUNDY	ELECTION WORK	\$	50.00
11/16/2018	1	130617	WYATT MACLAUGHLIN	ELECTION WORK	\$	95.00
11/16/2018	1	130618	KAREN MARUMOTO	ELECTION WORK	\$	85.00
11/16/2018	1	130619	EMILY MCCALL	ELECTION WORK	\$	95.00
11/16/2018	1	130620	DANIEL MCMASTER	ELECTION WORK	\$	165.00
11/16/2018	1	130621	RUTH ANN MELLENTINE	ELECTION WORK	\$	165.00
11/16/2018	1	130622	MEMORIAL MEDICAL ASSOCIATES	PHYSICAL	\$	155.00
11/16/2018	1	130623	MONCHILOV SEWER SERVICE LLC	CLEAN/TELEWISE SANITARY SEWER-WASHINGTON ST	\$	3,266.60
11/16/2018	1	130624	JULIE NELSON	ELECTION WORK	\$	95.00
11/16/2018	1	130625	GLORIA NEMETS	ELECTION WORK	\$	85.00
11/16/2018	1	130626	CAROLYN LEE O'CONNELL	ELECTION WORK	\$	172.50
11/16/2018	1	130627	ALICE LYN PETERSON	ELECTION WORK	\$	205.00
11/16/2018	1	130628	LINDA PINCIK	ELECTION WORK	\$	205.00
11/16/2018	1	130629	GERALDINE MARGARET RAMOS	ELECTION WORK	\$	165.00
11/16/2018	1	130630	SHARON REUTHER	ELECTION WORK	\$	165.00
11/16/2018	1	130631	EUSTASIA REYNA	ELECTION WORK	\$	85.00
11/16/2018	1	130632	BRUCE ROBINSON	ELECTION WORK	\$	135.00
11/16/2018	1	130633	BERNETTE ROE	ELECTION WORK	\$	155.00
11/16/2018	1	130634	ROWELL, SCOTT F	BD Bond Refund	\$	50.00
11/16/2018	1	130635	JUDY SENK	ELECTION WORK	\$	165.00
11/16/2018	1	130636	ELAINE SHEPARD	ELECTION WORK	\$	85.00
11/16/2018	1	130637	ALEXANDER SMITH	ELECTION WORK	\$	90.00
11/16/2018	1	130638	MARGARET ELLEN SOWLE	ELECTION WORK	\$	155.00
11/16/2018	1	130639	MARISSA SPALDING	ELECTION WORK	\$	85.00

11/16/2018	1	130640	MARGARET SPENCER	ELECTION WORK	\$	185.00
11/16/2018	1	130641	L. DIANNE STASA	ELECTION WORK	\$	165.00
11/16/2018	1	130642	ROSEMARY STEAVENS	ELECTION WORK	\$	165.00
11/16/2018	1	130643	ALVINA STEPHENSON	ELECTION WORK	\$	90.00
11/16/2018	1	130644	CATHERINE STEVENSON	ELECTION WORK	\$	160.00
11/16/2018	1	130645	THOMAS STEVENSON	ELECTION WORK	\$	160.00
11/16/2018	1	130646	SUE ANN STONE	ELECTION WORK	\$	175.00
11/16/2018	1	130647	KARYL SULLIVAN	ELECTION WORK	\$	165.00
11/16/2018	1	130648	LARRY SULLIVAN	ELECTION WORK	\$	192.50
11/16/2018	1	130649	SHIRLEY TATTERSALL	ELECTION WORK	\$	165.00
11/16/2018	1	130650	IONE THOMAS	ELECTION WORK	\$	162.50
11/16/2018	1	130651	JORDAN TOWER	ELECTION WORK	\$	85.00
11/16/2018	1	130652	JAMES TREADWAY	ELECTION WORK	\$	165.00
11/16/2018	1	130653	HECTOR M VALDEZ JR	ELECTION WORK	\$	160.00
11/16/2018	1	130654	FAITH VANDERMOLLEN	ELECTION WORK	\$	95.00
11/16/2018	1	130655	MATTHEW VANDERMOLLEN	ELECTION WORK	\$	15.00
11/16/2018	1	130656	HANNAH WACKERLE	ELECTION WORK	\$	30.00
11/16/2018	1	130657	DEBRA WHIPPLE	ELECTION WORK	\$	40.00
11/16/2018	1	130658	WOODHULL CONSTRUCTION	BD Bond Refund	\$	50.00
11/16/2018	1	130659	EMILY WOODWORTH	ELECTION WORK	\$	95.00
11/16/2018	1	130660	JENNIFER ZIETZ	ELECTION WORK	\$	160.00
11/16/2018	1	3753(A)	LOREEN F BAILEY	ELECTION WORK	\$	40.00
11/16/2018	1	3754(A)	BIDNET	SERVICE FEES FOR SALE OF 1992 LEAF VAC	\$	512.50
11/16/2018	1	3755(A)	NANCY L BLAIR	ELECTION WORK	\$	267.50
11/16/2018	1	3756(A)	CONSTINE GRAVEL COMPANY	CLASS II SAND-301.3/TONS	\$	1,500.47
11/16/2018	1	3757(A)	CONSUMERS ENERGY	GAS/ELECTRIC USAGE	\$	9,775.90
11/16/2018	1	3758(A)	VOID			VOID
11/16/2018	1	3759(A)	CRAWFORD CONTRACTING INC	21AA LIMESTONE-398 TONS	\$	7,645.58
11/16/2018	1	3760(A)	DALTON ELEVATOR LLC	OCTOBER 2018 CYLINDER RENT/SUPPLIES	\$	466.06
11/16/2018	1	3761(A)	FERGUSON ENTERPRISES INC	3" HYDRANT METER/BACK FLOW PREVENTER	\$	1,907.04
11/16/2018	1	3762(A)	GRAINGER, INC.	PUMP SHAFT SEAL	\$	508.62
11/16/2018	1	3763(A)	HYDROTEX INC	ACCULUBE	\$	753.36
11/16/2018	1	3764(A)	STEVEN PAUL KOHAGEN	ELECTION WORK	\$	25.00
11/16/2018	1	3765(A)	MEETING TOMORROW	LAPTOP RENTAL FOR NOVEMBER 6, 2018 ELECTION	\$	962.50
11/16/2018	1	3766(A)	MEMORIAL HEALTHCARE CENTER	DRUG SCREENING	\$	100.00
11/16/2018	1	3767(A)	MEYER ELECTRIC INC	WIRE AND TEST MOTOR AT WWTP	\$	495.00
11/16/2018	1	3768(A)	PACE ANALYTICAL SERVICES INC	WASTEWATER ANALYSES	\$	195.00
11/16/2018	1	3769(A)	REEVES WHEEL ALIGNMENT, INC	VEHICLE REPAIRS	\$	3,529.93

11/16/2018	1	3770(A)	RUBOB'S INC	OCTOBER 2018-PUBLIC SAFETY DRY CLEANING	\$	352.40
11/16/2018	1	3771(A)	ST JOHNS ANSWERING SERVICE INC	DECEMBER 2018-TELEPHONE ANSWERING SERVICE	\$	75.00
11/16/2018	1	3772(A)	WASTE MANAGEMENT OF MICHIGAN INC	LANDFILL DISPOSAL CHARGES-9/1/18-9/15/18	\$	3,865.94
11/27/2018	1	130661	LESTER, GERALD R	REIMBURSEMENT	\$	7.50
11/27/2018	1	130662	ALL ABOUT ANIMALS	VET SERVICES-PAID FOR BY DONATIONS	\$	1,455.00
11/27/2018	1	130663	ARBOR PROFESSIONAL SOLUTIONS INC	COLLECTION FEES	\$	632.47
11/27/2018	1	130664	THE ARGUS-PRESS	PRINTING OF LEGAL NOTICES ETC	\$	166.25
11/27/2018	1	130665	BARCODE APPLICATIONS INC	PRINTER/SCANNER/RIBBON/LABELS	\$	787.45
11/27/2018	1	130666	LORENCZ TIFFANY	UB refund for account: 3623070012	\$	37.94
11/27/2018	1	130667	CROWE PROPERTIES	UB refund for account: 2335740003	\$	8.84
11/27/2018	1	130668	MCLAREN EARL	UB refund for account: 1740000003	\$	15.90
11/27/2018	1	130669	FRY JACKIE	UB refund for account: 1375500009	\$	17.82
11/27/2018	1	130670	DEPEAL PHILIP	UB refund for account: 2714190003	\$	49.88
11/27/2018	1	130671	GROW LAURA	UB refund for account: 5493630003	\$	45.06
11/27/2018	1	130672	DELANEY KAREN	UB refund for account: 3180570001	\$	19.92
11/27/2018	1	130673	CLINGER AMAMDA	UB refund for account: 3105070011	\$	14.66
11/27/2018	1	130674	MILLER JENNIE	UB refund for account: 1482000005	\$	19.71
11/27/2018	1	130675	WAUGH GREGORY	UB refund for account: 3723070001	\$	6.67
11/27/2018	1	130676	SCHEITLER KELLY	UB refund for account: 5110600001	\$	42.51
11/27/2018	1	130677	EL HOLDINGS, LLC	UB refund for account: 4036040003	\$	53.78
11/27/2018	1	130678	CROSSWINDS CAFE	UB refund for account: 5032500005	\$	17.69
11/27/2018	1	130679	JURSTIK MARY	UB refund for account: 3734070002	\$	5.87
11/27/2018	1	130680	HOLMES KYLE	UB refund for account: 2643990009	\$	15.53
11/27/2018	1	130681	DUQUETTE JOSHUA	UB refund for account: 5068570006	\$	34.43
11/27/2018	1	130682	RICKETT KANDY	UB refund for account: 2106690002	\$	10.20
11/27/2018	1	130683	OCHODNICKY HOLLY	UB refund for account: 3487570003	\$	25.92
11/27/2018	1	130684	ENGLAND BRENDA	UB refund for account: 1545500005	\$	42.42
11/27/2018	1	130685	MORENCE JOSH	UB refund for account: 2843790002	\$	20.10
11/27/2018	1	130686	NIDEFSKI MIKE	UB refund for account: 1559550014	\$	19.90
11/27/2018	1	130687	NOWOSISLOSKY GERALD	UB refund for account: 1690000009	\$	44.34
11/27/2018	1	130688	JAGER PAULA	UB refund for account: 3921070008	\$	85.18
11/27/2018	1	130689	CAROLINA BRONZE SCULPTURE INC	REPLACEMENT FISHING POLE FOR CURWOOD SCUPTURE	\$	788.00
11/27/2018	1	130690	COMPLUS DATA INNOVATIONS INC	TICKET PROCESSING/PRINTING SERVICES	\$	1,132.02
11/27/2018	1	130691	QA/QC, CONSTRUCTION TESTING SERVICE	STREET BORING TESTING	\$	4,494.00
11/27/2018	1	130692	CROWE PROPERTIES, LLC	2018 Sum Tax Refund	\$	460.06
11/27/2018	1	130693	DAYSTARR COMMUNICATIONS	DECEMBER 2018-PHONE AND BROADBAND INTERNET	\$	945.16
11/27/2018	1	130694	DELTA DENTAL PLAN OF MICHIGAN	DENTAL INSURANCE PREMIUM	\$	3,444.08
11/27/2018	1	130695	DELTA FAMILY CLINIC SOUTH PC	NEW HIRE EXAM	\$	350.00

11/27/2018	1	130696	DOWNTOWN DEVELOPMENT AUTHORITY	TAX DISBURSEMENT	\$	440.90
11/27/2018	1	130697	DUSTOUT LLC	AIR DUCT CLEANING AT OWOSSO CITY HALL & PUBLIC SAFETY B	\$	6,442.00
11/27/2018	1	130698	FAMILY SERVICE AGENCY OF MID MI	2018 Sum Tax Refund	\$	7.06
11/27/2018	1	130699	FIREPROGRAMS	ANNUAL SUPPORT	\$	613.00
11/27/2018	1	130700	FIRST DUE FIRE SUPPLY	FIRE GEAR FOR TIM CHON	\$	2,681.58
11/27/2018	1	130701	HANKERD SPORTSWEAR	JACKET FOR SECRETARY	\$	42.00
11/27/2018	1	130702	INDUSTRIAL SUPPLY OF OWOSSO INC	PARTS	\$	72.85
11/27/2018	1	130703	JOE RAICA EXCAVATING INC	2018 STREET PROGRAM	\$	36,402.84
11/27/2018	1	130704	L D DOCSA ASSOCIATES INC	SLUDGE THICKENER REHABILITATION	\$	8,700.75
11/27/2018	1	130705	MCLAREN RENTALS, INC.	CHAIRS AND TABLES FOR NOVEMBER 6, 2018 ELECTION	\$	415.00
11/27/2018	1	130706	MICHIGAN PUBLIC EMPLOYER LABOR RELAT	PROGRAM REGISTRATION-J UNANGST/G CHINAVARE	\$	130.00
11/27/2018	1	130707	MIKE & SON ASPHALT INC	FALL 2018 STREET PATCHES	\$	7,968.00
11/27/2018	1	130708	MISDU	PAYROLL DEDUCTIONS	\$	1,228.26
11/27/2018	1	130709	MONCHILOV SEWER SERVICE LLC	OMESTEAD ST WORK	\$	12,000.00
11/27/2018	1	130710	POLICE EXECUTIVE RESEARCH FORUM	2019 DUES-KEVIN LENKART	\$	200.00
11/27/2018	1	130711	RICHMOND, ANDREW & CORIENA	REFUND	\$	34.14
11/27/2018	1	130712	SHIAWASSEE COUNTY TREASURER	TAX DISBURSEMENT	\$	12,169.70
11/27/2018	1	130713	SHIAWASSEE FAMILY YMCA	PAYROLL DEDUCTION-MEMBERSHIPS	\$	186.15
11/27/2018	1	130714	SPRINT COMMUNICATIONS	CELL PHONE SERVICE-11/7/18-11/6/18	\$	1,106.77
11/27/2018	1	130715	STANDARD INSURANCE COMPANY	GROUP LIFE INSURANCE/LONG TERM/SHORT TERM	\$	4,546.15
11/27/2018	1	130716	STATE OF MICHIGAN	ANNUAL STATE FEE ON CITY BROWNFIELD WORK PLAN PROJECT	\$	211.49
11/27/2018	1	130717	STATE OF MICHIGAN	SPRAY PAD LICENSE RENEWALS-1/1/19-12/31/19	\$	134.00
11/27/2018	1	130718	STATE OF MICHIGAN	PHASE II-OLIVER ST FROM OAK TO GOULD STS	\$	3,147.23
11/27/2018	1	130719	THE ARC SHIAWASSEE	REIMBURSEMENT	\$	25.00
11/27/2018	1	130720	TX CHILD SUPPORT SDU	PAYROLL DEDUCTION	\$	143.08
11/27/2018	1	130721	UNITED PARCEL SERVICE	SHIPPING FEES	\$	11.48
11/27/2018	1	130722	ZITO CONSTRUCTION CO	INDUSTRIAL PARK CONNECTOR PROJECT	\$	757,605.95
11/27/2018	1	3773(A)	ABSOPURE WATER COMPANY LLC	WATER FOR LAB USE.	\$	49.50
11/27/2018	1	3774(A)	APPLIED INDUSTRIAL TECHNOLOGIES	WEST INTERMEDIATE CLARIFIER REPLACEMENT	\$	8,467.24
11/27/2018	1	3775(A)	MICHAEL LEVERE ASH	SCHOOL LIAISON OFFICER-62/HRS	\$	1,134.60
11/27/2018	1	3776(A)	B S & A SOFTWARE	BUILDING DEPARTMENT TRAINING	\$	1,130.00
11/27/2018	1	3777(A)	BELL EQUIPMENT COMPANY	PARTS FOR UNIT #255	\$	119.35
11/27/2018	1	3778(A)	BODMAN PLC	EMPLOYEE RELATIONS	\$	1,062.50
11/27/2018	1	3779(A)	BOUND TREE MEDICAL LLC	AMBULANCE MEDICAL SUPPLIES	\$	1,174.49
11/27/2018	1	3780(A)	C D W GOVERNMENT, INC.	EPSON POWERLITE PROJECTOR	\$	993.55
11/27/2018	1	3781(A)	C E & A PROFESSIONAL SERVICES INC	RANDOM DOT DRUG TESTING	\$	369.98
11/27/2018	1	3782(A)	CARMEUSE LIME	BULK PEBBLE QUICKLIME-40.99/TONS	\$	10,938.40
11/27/2018	1	3783(A)	CINTAS CORPORATION #308	FLOOR MATS	\$	25.00

11/27/2018	1	3784(A)	CONSUMERS ENERGY	GAS/ELECTRIC USAGE	\$	145.71
11/27/2018	1	3785(A)	ELECTION SOURCE	NOVEMBER 6, 2018 ELECTION CHART	\$	45.00
11/27/2018	1	3786(A)	ESRI, INC.	SERVICE CREDITS-100	\$	100.00
11/27/2018	1	3787(A)	ETNA SUPPLY COMPANY	WATER INVENTORY	\$	2,596.13
11/27/2018	1	3788(A)	GALL'S INC.	DEPLOYMENT BAG	\$	20.89
11/27/2018	1	3789(A)	GENERAL CODE LLC	UPDATES AND SUPPORT FOR LASERFICHE	\$	3,851.00
11/27/2018	1	3790(A)	GOULD LAW PC	LEGAL SERVICES	\$	8,980.40
11/27/2018	1	3791(A)	GOYETTE MECHANICAL	MAINTENANCE BOILER IN PUBLIC SAFETY BUILDING	\$	172.28
11/27/2018	1	3792(A)	GRAINGER, INC.	SUBMERSIBLE DEWATERING PUMP	\$	602.20
11/27/2018	1	3793(A)	HALLIGAN ELECTRIC INC	REPLACE BACKWASH PUMP VFD	\$	195.00
11/27/2018	1	3794(A)	INTERSTATE BILLING SERVICE INC	PARTS FOR CLAWS	\$	1,265.76
11/27/2018	1	3795(A)	J & H OIL COMPANY	FUEL-PE 11/15/18	\$	5,959.40
11/27/2018	1	3796(A)	KENDALL ELECTRIC, INC.	AMR PROJECT MATERIALS	\$	27.55
11/27/2018	1	3797(A)	LANSING UNIFORM CO.	JACKET-A REED	\$	152.45
11/27/2018	1	3798(A)	LUDINGTON ELECTRIC, INC.	ELECTRICAL WORK	\$	2,291.02
11/27/2018	1	3799(A)	MICHIGAN BUSINESS & PROFESSIONAL ASSOCIATION	DECEMBER 2018 COBRA ADMIN FEE	\$	50.00
11/27/2018	1	3800(A)	MICHIGAN ELECTION RESOURCES	NOVEMBER 6, 2018 ELECTION MATERIALS	\$	320.51
11/27/2018	1	3801(A)	MID MICHIGAN EMERGENCY EQUIPMENT	EQUIPMENT/LABOR TO DO CHANGE OVER ON NEW POLICE VEH	\$	8,712.50
11/27/2018	1	3802(A)	MRG LABORATORIES	GREASE ANALYSIS	\$	153.22
11/27/2018	1	3803(A)	NATIONAL VISION ADMINISTRATORS LLC	DECEMBER 2018 VISION INSURANCE PREMIUM	\$	466.84
11/27/2018	1	3804(A)	OFFICE DEPOT	SUPPLIES	\$	654.54
11/27/2018	1	3805(A)	OFFICE SOURCE	SUPPLIES	\$	45.56
11/27/2018	1	3806(A)	ORCHARD HILTZ & MCCLIMENT INC	SANITARY SEWER COLLECTION SYSTEM	\$	48,708.75
11/27/2018	1	3807(A)	PHP INSURANCE COMPANY	HEALTH INSURANCE PREMIUM	\$	53,761.95
11/27/2018	1	3808(A)	PHYSICIANS HEALTH PLAN	HEALTH INSURANCE PREMIUM	\$	20,326.10
11/27/2018	1	3809(A)	PVS NOLWOOD CHEMICALS INC	SODIUM METABISULFITE	\$	1,572.68
11/27/2018	1	3810(A)	PVS TECHNOLOGIES, INC.	FERRIC CHLORIDE	\$	3,576.22
11/27/2018	1	3811(A)	ROHDE BROS EXCAVATING INC	2018 STREET PROGRAM	\$	326,570.86
11/27/2018	1	3812(A)	SAFEBUILT MICHIGAN LLC	OCTOBER 2018-BUILDING DEPARTMENT SERVICES	\$	9,346.67
11/27/2018	1	3813(A)	SUNBURST GARDENS, INC.	TREES FOR DOWNTOWN	\$	600.00
11/27/2018	1	3814(A)	USA BLUE BOOK	PARTS	\$	265.74
11/27/2018	1	3815(A)	VERIZON WIRELESS	PUBLIC SAFETY-MODEM FEES	\$	380.25
11/27/2018	1	3816(A)	VERIZON WIRELESS	METER READING SYSTEM MODEM FEES	\$	156.26
11/27/2018	1	3817(A)	WASTE MANAGEMENT OF MICHIGAN INC	LANDFILL DISPOSAL CHARGES-11/1/18-11/15/18	\$	6,947.09
11/27/2018	1	3818(A)	MICHAEL GENE WHEELER	SCHOOL LIAISON OFFICER-62.5/HRS	\$	1,143.75

1 TOTALS:

(3 Checks Voided)

Total of 330 Disbursements:

\$1,885,382.42

Bank 10 OWOSSO HISTORICAL FUND

11/09/2018	10	5151	AMERICAN SPEEDY PRINTING	THANK YOU NOTES FOR GOULD HOUSE CRISIS INTERVENTION	\$	183.00
11/09/2018	10	5152	CONSUMERS ENERGY	GAS/ELECTRIC SERVICE	\$	351.93
11/09/2018	10	5153	DELUX TROPHIES & AWARDS	VOLUNTEER AND DONOR AWARDS	\$	420.00
11/09/2018	10	5154	ROBERT V DORAN-BROCKWAY	BOOKS AND DVD'S	\$	509.87
11/09/2018	10	5155	JENI EAVES	FUNDRAISER AT CURWOOD CASTLE	\$	450.00
11/09/2018	10	5156	GILBERT'S DO IT BEST HARDWARE & APP	SUPPLIES	\$	45.82
11/09/2018	10	5157	LAMPHERE'S	CURWOOD CASTLE-BOILER SYSTEM CLEAN AND CHECK	\$	477.27
11/09/2018	10	5158	NO MOW PROBLEMS LAWN CARE	OCTOBER 2018 GOULD HOUSE LAWN MOWING	\$	120.00
11/09/2018	10	5159	SPECIALTY SALVAGE LLC	GOULD HOUSE TRASH SERVICE	\$	41.97

10 TOTALS:

Total of 9 Disbursements:

\$ 2,599.86

REPORT TOTALS:

(3 Checks Voided)

Total of 339 Disbursements:

\$1,887,982.28



DATE: 12.12.18
TO: CITY COUNCIL
FROM: CITY MANAGER
SUBJECT: CARGILL SIGN EASEMENT

BACKGROUND:

The City Attorney was directed to draft a sign easement for Cargill, Inc to place a directional sign at the corner of Chipman and Hathaway Dr. to prevent heavy truck traffic from missing the entrance to the factory and ending up on city streets to the north of Hathaway Dr.

The easement is permanent and is binding on all subsequent owners of the property for the purposes in which it was signed. It shall only be for enough area to accommodate the sign and its maintenance by Cargill and any subsequent owners. The sign must comply with the city's sign ordinance. The easement shall terminate at the city's discretion when either the operations of the plant cease, an alternative route bypasses Hathaway Dr., or the city concludes that the termination of the easement is in the best interest of the city. Cargill and any subsequent owners are responsible for the cost of placement, replacement, and maintenance of the sign – including mowing, trimming, clearing, and weeding off the easement area. If Cargill or subsequent owners wish to terminate the easement they must give a 30-day notice to the city and remove the sign and repair/restore the easement area. If the city develops the easement area and the sign has to be moved, the city and Cargill or its successors shall find the nearest acceptable location for the signs replacement. This would be at Cargill or successors' expense.

FISCAL IMPACT:

The City will have some attorney fees wrapped up in this but that's about it. Cost of construction for the sign and maintenance of the sign and easement area is on Cargill and its successors.

RESOLUTION NO.

**AUTHORIZING A DEED OF EASEMENT
FOR PLACEMENT OF A SIGN IN CITY RIGHT-OF-WAY
FOR CARGILL, INCORPORATED**

WHEREAS, Cargill, Incorporated recently developed a property to the west of the 400 and 500 blocks of North Chipman Street for their new plant in the City of Owosso; and

WHEREAS, the new street constructed to access the property is yet to be found on common GPS devices leading to numerous large trucks traveling into residential areas not designed for large truck traffic; and

WHEREAS, the City of Owosso seeks to establish an easement allowing Cargill, Incorporated to place a directional sign at the corner of Chipman Street and Hathaway Drive to better direct heavy truck traffic.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Owosso, Shiawassee County, Michigan that:

- FIRST: the City of Owosso has theretofore determined that it is advisable, necessary and in the public interest to establish a permanent easement in the right-of-way of the intersection of North Chipman Street and Hathaway Drive for the placement of a directional sign by Cargill, Incorporated or any of its successors at 1510 Hathaway Drive.
- SECOND: the mayor and city clerk are instructed and authorized to sign the document substantially in the form attached, Deed of Easement for Sign between the City of Owosso, Michigan and Cargill, Incorporated.

DEED OF EASEMENT FOR SIGN

THIS DEED OF EASEMENT (this "Agreement") is effective as of the ____ day of December, 2018, between the CITY OF OWOSSO, a Michigan municipal corporation, with a principal mailing address of 301 West Main Street, Owosso, Michigan 48867, as Grantor and CARGILL, INCORPORATED, a Delaware corporation, with a principal mailing address of 15407 McGinty Road, West, Wayzata, Minnesota 55391, as Grantee.

RECITALS:

WHEREAS, Grantee owns a certain parcel of real estate described on Exhibit A attached hereto and made part hereof ("Grantee's Property") and is in need of an off premises sign to be located on property owned by Grantor and legally described on Exhibit B attached hereto and made part hereof ("Grantor's Property"), announcing a proper shipping route to Grantee's place of business located on Grantee's Property at 1510 Hathaway Drive, Owosso, Michigan ("Grantee's Plant").

WHEREAS, Grantee desires to obtain from Grantor and Grantor desires to convey to Grantee an easement to construct and maintain a sign belonging to Grantee to provide direction to Grantee's Plant over and across a portion of Grantor's Property as shown on the drawing attached hereto as Exhibit C (the "Easement Area").

NOW, THEREFORE, for the sum of One and No/100 (\$1.00) Dollar, Grantor hereby grants unto the Grantee, its heirs and assigns, the easement as hereinafter described, and Grantor and Grantee agree as follows:

AGREEMENT:

1. Grantor hereby grants to Grantee a permanent easement (the "Easement") in, on, over and across the Easement Area for the purposes of constructing, improving, repairing, operating and maintaining a sign to service Grantee's Property, which sign shall conform to the City of Owosso Sign Ordinance (City of Owosso Code of Ordinance Chapter 26) (the "Sign"). The Easement shall run with the land and be for the benefit of Grantee and Grantee's successors, assigns, agents, employees, invitees and contractors. This Easement shall be binding upon Grantor and all subsequent owners of the Easement Area. The Easement shall only grant enough land use as needed to accommodate the Sign, including ingress and egress to the Sign. Grantee

may only fix the Sign upon the Easement Area within the appropriate setback distance as per local ordinance from the southern curb edge of Hathaway Drive, not to exceed _____ feet north from the southwest corner curb of the Hathaway Drive-Chipman Street intersection as shown on Exhibit C. This easement shall not interfere with any constructed street or pedestrian sidewalk that exist at the time in which this Agreement is executed. The Sign, its location, construction, contents and maintenance shall comply with all Federal, State and Local laws/ordinances and is the sole responsibility of Grantee. Failure to comply as mentioned is grounds for Grantor to terminate this easement. The Easement shall terminate at the sole discretion of Grantor when one of the following occurs:

- a. the operations at said Plant cease;
- b. an alternative route renders said sign obsolete;
- c. Grantor concludes that the termination of this easement is in the best interest of the City.

Upon termination of the Easement, Grantee shall return the premises to a clean and level condition.

2. Grantee shall indemnify and hold Grantor harmless from and against all claims, losses and damages, including environmental, resulting from or arising out of the use and operation of the Easement by Grantee, its agents, employees, invitees and contractors, unless such claims, losses or damages result from or arise out of Grantor's negligence or greater culpability.

Grantor shall indemnify and hold Grantee harmless from and against all claims, losses and damages, including environmental, resulting from or arising out of the use and operation of the Easement Area by Grantor, its agents, employees, invitees and contractors, unless such claims, losses or damages result from or arise out of Grantee's negligence or greater culpability.

3. The Easement shall be non-exclusive. Grantor shall have the right to use the surface and subsurface of the Easement Area for any purpose not inconsistent with the purpose of the Easement as set forth above. Grantor agrees not to obstruct, impede, or interfere in the reasonable use of the Easement Area by Grantee for the purposes set forth herein. Except for the purposes set forth herein, Grantee shall not obstruct, impede, or interfere in the reasonable use of the Easement Area by Grantor and its agents, employees, invitees and contractors.

4. Grantor warrants that it is the fee owner of the Easement Area and has the full power, right and authority to enter into this Agreement and that the Easement Area is free and clear of all mortgages, liens, charges, security interests, easements, encumbrances or other claims whatsoever.

5. Grantee shall perform, at Grantee's sole cost and expense, all repairs, replacements, maintenance or restoration as may, from time to time, become necessary to access

and/or maintain the Easement Area for use for the Sign, including mowing, trimming, cutting down or clearing away any and all weeds and other brush located on the Easement Area so as to maintain an acceptable appearance.

6. Each party shall at their respective sole risk, cost and expense comply with all laws, statutes and ordinances, including environmental, and the orders, regulations and requirements of all federal, state and local governmental agencies that may be applicable to the Easement or the Easement Area by reason of either party's use thereof, and/or Grantor's granting thereof.

7. This Easement Agreement shall continue perpetually, unless otherwise provided herein, until Cargill elects to terminate this Easement in its entirety upon giving a minimum of thirty (30) days advance written notice to Grantor at such address indicated herein or as otherwise communicated by Grantor to Cargill. Upon termination of this Easement Agreement, Cargill shall remove the Sign and shall repair and restore the Easement Area to the condition existing at the Effective Date, normal wear excepted.

8. If the Grantor sells or develops the Easement Area, which necessitates the temporary or permanent re-location of the Sign, Grantor and Cargill shall agree upon a new location for the Sign and as near to the original location as possible. If such re-location is only temporary, the Sign shall be re-located to its original location as soon as is possible upon completion of any improvement to the Easement Area. All costs and expenses of such Sign re-location shall be solely at Cargill's expense.

9. This Agreement shall not be amended except by written agreement executed by Grantor and Grantee or their respective successors and assigns.

10. This Agreement shall be binding upon Grantor and Grantee and upon their respective successors and assigns.

11. This Agreement shall be governed, construed and interpreted in accordance with the substantive laws of the State of Michigan, without regard to its conflict of laws provision.

12. If any provision of this Agreement shall be held to be invalid, illegal or unenforceable, the remaining provisions shall be binding upon the parties and shall be enforceable as though said invalid, illegal or unenforceable provisions were not contained herein.

The parties have hereunto set their hands and seals to this Agreement the day and year first above written.

STATE OF MICHIGAN)
COUNTY OF SHIAWASSEE) ss.

On this ____ day of _____, 2018, before me, a Notary Public, in and for said County, personally appeared Amy K. Kirkland, to me personally known, who, being by me duly sworn, did say that she is the Clerk of the City of Owosso, the corporation named in and which executed the within Deed of Easement, and that said instrument was signed on behalf of said corporation by authority of its City Council, and said officers acknowledged said instrument to be the free act and deed of said corporation.

_____, Notary Public

Shiawassee County, Michigan
My commission expires:
Acting in Shiawassee County, Michigan

STATE OF MINNESOTA)
) ss.
COUNTY OF HENNEPIN)

On this ____ day of _____, 2018, before me, a Notary Public, in and for said County, personally appeared _____, to me personally known, who, being by me duly sworn, did say that he/she is the _____ of the Cargill Incorporated, the corporation named in and which executed the within Deed of Easement, and that said instrument was signed on behalf of said corporation, by authority of its officers and acknowledged said instrument to be the free act and deed of said corporation.

_____, Notary Public

Hennepin County, Minnesota
My commission expires:
Acting in Hennepin County, Minnesota

Approved as to substance:

Nathaniel R. Henne, City Manager

Date

Approved as to form:

Scott J. Gould, City Attorney

Date

Approved by City Council:

Date

PREPARED BY:

Scott J. Gould P 76101
Owosso City Attorney
114 East Main Street, Suite 218
Owosso, Michigan 48867
(989) 729-0071

STATE OF MICHIGAN - SHIAWASSEE COUNTY
 Received 12/02/2016 09:59:00 AM 3292097
 Recorded 12/02/2016 02:18:55 PM DWA
 LORI KIMBLE, REGISTER OF DEEDS

006-14-300-027
 050-537-000-048-00

WARRANTY DEED FOR CORPORATION

2011-2015
 146800

The Grantor, the CITY OF OWOSSO, a Michigan municipal corporation, whose address is 301 West Main Street, Owosso, Michigan 48867, conveys and warrants to CARGILL, INCORPORATED, a Delaware corporation, whose address is 15407 McGinty Road West, Wayzata, Minnesota 55391, the following described premises situated in the City of Owosso, County of Shiawassee and State of Michigan:

Parcel 1: Part of the South 1/2 of Section 14, Town 7 North, Range 2 East, Owosso Township and City of Owosso, Shiawassee County, Michigan, described as beginning at a point on the East-West 1/4 line of said Section 14 which is N89°59'47"E, along said East-West 1/4 line, 2469.13 feet from the West 1/4 corner of said Section 14; thence continuing N89°59'47"E, along said East-West 1/4 line, 183.85 feet to the Interior 1/4 corner of said Section 14; thence S01°41'55"W, along the North-South 1/4 line of said Section 14, 33.01 feet to a point on the Southerly right of way line of King Street; thence N90°00'00"E, along said Southerly right of way line, 418.35 feet; thence S42°07'54"E, 1066.59 feet; thence N48°37'29"E, 34.45 feet; thence S42°56'25"E, 177.70 feet; thence S47°12'54"E, 180.00 feet; thence S47°56'18"W, 53.13 feet; thence S42°08'10"E, 124.19 feet; thence S42°52'00"W, 78.93 feet; thence 58.33 feet along the arc of a 78.00 foot radius curve to left having a delta angle of 42°50'48" and a chord bearing and distance of S21°26'39"W, 56.98 feet; thence S00°01'18"W, 46.00 feet; thence N89°58'43"W, 419.90 feet to a point on the Northwesterly right of way line of Great Lakes Central Railroad; thence N40°33'37"W, along said Northwesterly railroad right of way line, 1761.20 feet to the point of beginning. Containing 18.13 acres of land and being subject to easements, rights of way or restrictions of record.

Parcel 2: Easement for Drive and roadway purposes contained in Land Contract dated January 20, 1965 recorded January 20, 1965 in Liber 370, Page 140, said easement granted in Warranty Deed dated November 10, 1980, recorded April 9, 2007 in Deed Book 1109, Page 393. As affected by Partial Release of Easement dated September 23, 2016, recorded October 26, 2016 in Shiawassee County records in Liber 1227, Page 0652. As affected by Partial Release of Easement dated September 23, 2016 executed by Kevin and James Coldiron recorded October 26, 2016 in Shiawassee County records in Liber 1227, Page 0653. As affected by Partial Release of Easement dated October 19, 2016 executed by Covenant Eyes Enterprise, LLC, and consented to by Fifth Third Bank, recorded November 21st, 2016 in Shiawassee County records in Liber 1228, Page 0793.

for the sum of Sixty Seven Thousand Eighty One and No/100 (\$67,081.00) Dollars. This conveyance is exempt from State and County Transfer Tax pursuant to MCLA 207.526(h)(i) and MCL 207.505(5)(h)(i) respectively.

This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

The Grantor grants to the Grantee the right to make all division(s) under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

When Recorded Return to: A. Dugan
 First American Title Insurance Company
 National Commercial Services
 801 Nicollet Mall, Suite 1900
 Minneapolis, MN 55402 (LCC)
 File No. MCL - 743985-MPLS

EXHIBIT A

DWA-2

2

This Deed is subject to all building restrictions, easements and reservations in the chain of title, or of record, or which would show on examination of the premises. The Grantor(s) herein except from the covenants of warranty any future installments of ordinary or special taxes which are now a lien on the land but are not due and payable.

Subject to easements and building and use restrictions of record.

Dated this 10th day of November, 2016.

CITY OF OWOSSO

BY: 

Benjamin R. Frederick

ITS: Mayor

ATTEST:

BY: 

Amy K. Kirkland


ITS: Clerk

STATE O F MICHIGAN)

) ss.

COUNTY OF SHIAWASSEE)

The foregoing instrument was acknowledged before me this 10th day of November, 2016, by Benjamin R. Frederick and Amy K. Kirkland, Mayor and Clerk of the City of Owosso, a Michigan municipal corporation, on behalf of the corporation.


Roxane Cramer, Notary Public
Shiawassee County, Michigan
My Commission Expires: 8/11/17
Acting in Shiawassee County, Michigan

PREPARED BY:

William C. Brown P 33871
Attorney at Law
114 East Main Street, Suite 218
Owosso, Michigan 48867

SEND SUBSEQUENT TAX BILLS TO:

Cargill, Incorporated
15407 McGinty Road West
Wayzata, Minnesota 55391

Tax Parcel #

050-537-000-048-00

Property Address Is:

1509 W. Oliver Street
Owosso, MI 48867



STATE OF MICHIGAN - SHIAWASSEE COUNTY
Received 12/21/2016 04:29 51 PM 3292680
Recorded 12/21/2016 04:31:15 PM D
LORI KIMBLE, REGISTER OF DEEDS

COVENANT DEED

The Grantor, SONOCO PROTECTIVE SOLUTIONS, INC., fka TEGRANT DIVERSIFIED BRANDS, INC., fka SCA PACKAGING NORTH AMERICA, INC., fka SCA NORTH AMERICA-PACKAGING DIVISION, INC., fka TUSCARORA INCORPORATED, whose address is c/o Sonoco Products Company, One North Second Street, Hartsville, SC 29550, grants, bargains and conveys to the CITY OF OWOSSO, a Municipal Corporation, whose address is 301 West Main Street, Owosso, Michigan 48867, the following - *ml*
described premises situated in the City of Owosso, County of Shiawassee and State of Michigan:

Beginning at the Southeast $\frac{1}{4}$ of Section 14, T. 7 N.-R. 2 E., City of Owosso, Shiawassee County, Michigan described as follows: To fix the point of beginning commence at the Southeast corner of said Section 14; thence N.00°-23'-20"E., on the East line of said Section, 682.01 feet; thence N.43°-30'-39"W., 47.58 feet to the intersection of the Westerly Right-of-Way line of N. Chipman Street and the Southwesterly Railroad Right-of-Way line, also being the point of beginning; thence S.00°-23'-20"W, on said Westerly Right-of-Way line, 95.18 feet; thence N.43°-30'-39"W, 618.55 feet to a point on 767.00 feet radius curve to the left, having a chord bearing of N.67°-26'-40"W, 622.31 feet; thence along the arc of said curve 640.79 feet; thence S.88°-37'-19"W., 50.56 feet to a point on a 42.00 feet radius curve to the left, having a chord bearing of S.57°-27'-38"W., 13.68 feet; thence along the arc of said curve 13.74 feet to a point on a 78.00 feet radius curve to the right, having a chord bearing of N.84°-42'-16"W, 114.48 feet; thence along the arc of said curve 128.54 feet a point on the South $\frac{1}{8}$ line of said Section; thence S.88°-38'-37"W. on said South $\frac{1}{8}$ line, 15.01 feet; thence N.01°-21'-23"W, 46.00 feet to a point on a 78.00 feet radius curve to the right, having a chord bearing of N.20°-03'-58"E., 56.98 feet; thence along the arc of said curve 58.33 feet; thence N.41°-29'-19"E., 77.09 feet; thence S.48°-30'-43"E., 22.24 feet to a point on a 245.00 feet radius curve to the left, having a chord bearing of S.67°-26'-42"E., 198.77 feet; thence along the arc said curve 204.68 feet; thence N.88°-37'-19"E., 154.05 feet to a point on a 305.00 radius curve to the right, having a chord bearing of S.73°-06'-01"E., 191.31 feet; thence along the arc of said curve 194.59 feet to a point on said South $\frac{1}{8}$ line; thence N.88°-38'-37"E, on said South $\frac{1}{8}$ line, 7.99 feet to said Southwesterly Railroad Right-of-Way line; thence S.43°-30'-39"E., on said Southwesterly Railroad Right-of-Way line, 838.78 feet to the point of beginning, containing 2.82 acres of land.

Corrected 06-01-2016

for the sum of One and No/100 (\$1.00) Dollars.

SUBJECT TO: All those easements, covenants, conditions, restrictions and other matters of record.

This conveyance is exempt from State and County Transfer Tax pursuant to MCLA 207.526(6)(a)(h)(i) and MCL 207.505(5)(a)(h)(i) respectively.

This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

The Grantor grants to the Grantee the right to make all division(s) under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

This Deed is subject to all building restrictions, easements and reservations in the chain of title, or of record, or which would show on examination of the premises.

Grantor does covenant and agree that Grantor has not done, committed, or knowingly or willingly suffered to be done or committed, any act, matter, or thing whatsoever, whereby the Property hereby conveyed, or any part thereof is or shall or may be charged or encumbered in title, estate, or otherwise, except as to the easements, covenants, conditions, restrictions and other matters of record. Grantor will defend the Property against the claims and demands of all persons claiming through Grantor but against no other claims and no other person, including predecessors in title.

Dated this 13 day of OCTOBER, 2016.

SONOCO PROTECTIVE SOLUTIONS, INC., ATTEST:
fka TEGRANT DIVERSIFIED BRANDS, INC.,
fka SCA PACKAGING NORTH AMERICA,
INC., fka SCA NORTH
AMERICA-PACKAGING DIVISION, INC., fka
TUSCARORA INCORPORATED

BY: Ritchie L. Bond
Ritchie L. Bond

ITS: Treasurer

BY: Scott Cameron
Scott Cameron

ITS: Corporate Real Estate Manager

STATE OF SOUTH CAROLINA)
) ss.
COUNTY OF DARLINGTON)

The foregoing instrument was acknowledged before me this 13th day of OCTOBER, 2016, by RITCHIE L. BOND and SCOTT CAMERON, the TREASURER and CORP. REAL ESTATE MANAGER of Sonoco Protective Solutions, Inc., fka Tegrant Diversified Brands, Inc., fka SCA Packaging North America, Inc., fka SCA North America-Packaging Division, Inc., fka Tuscarora Incorporated, on behalf of the corporation.

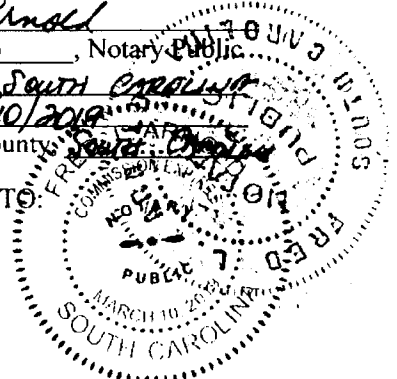
Fred L. Arnold
FRED L. ARNOLD, Notary Public
DARLINGTON County, SOUTH CAROLINA
My Commission Expires: 03/10/2018
Acting in DARLINGTON County, SOUTH CAROLINA

PREPARED BY:
William C. Brown P 33871
Attorney at Law
114 East Main Street, Suite 218
Owosso, Michigan 48867

SEND SUBSEQUENT TAX BILLS TO:
The City of Owosso

Tax Parcel #
050-537-000-036-00

Property Address Is:
121 North Chipman Street
Owosso, Michigan 48867



66-6011-10



EXHIBIT C



MEMORANDUM

301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ WWW.CI.OWOSSO.MI.US

DATE: December 17, 2018

TO: Mayor Eveleth and Owosso City Council Members

FROM: Amy Cyphert, Assistant City Manager & Community Development Director

SUBJECT: Planning Commission Recommendation to Adopt a Moratorium on Recreational Marijuana Establishments and Local Applications

BACKGROUND:

At the City Council meeting of December 3rd, the City Manager presented and recommended a moratorium for recreational marijuana establishments. During the discussion, City Council motioned to remand the subject to Planning Commission for their recommendation.

At their meeting on December 10th, the Planning Commission discussed the City Staff recommendation of a moratorium on the establishment of recreational marijuana facilities and the submission of local applications until LARA releases its regulations and application process guidelines.

Below are the reasons City Staff recommends and supports the moratorium:

1. The passing of a moratorium on recreational marijuana establishments no way places a moratorium on the usage of recreational marijuana. Recreational marijuana becomes legal to use, grow, and possess for any Michigan resident who is 21 years or older on December 6th.
2. Moratoriums were widely used by communities after the passing of Proposal 1 – Michigan Medical Marijuana Act. They allowed the State and communities time to establish rules and requirements.
3. A moratorium allows the Planning Commission and City Council time to amend the existing medical marijuana ordinance, hold the lottery and get medical marijuana provisioning centers operational.
4. We have yet to see the affects that medical marihuana facilities will have on the City and City's law enforcement.
5. Creating a recreational marijuana establishment ordinance before LARA establishes rules would not be an efficient way of authoring an ordinance. LARA's rules may result in revisions or a complete rewrite of said ordinance due to premature creation. - You would be expending time and money similar to the amendments being done currently for medical marijuana.
6. Waiting and doing nothing would be a worst idea for Owosso because if LARA releases their rules early, Owosso will automatically opt in with no controls in place. By the time, the city scrambles to get something in place after an automatic opt-in we could have situations of vested property rights in place regarding recreational marijuana establishments and nothing to solve the problem but a long and costly route through the court system with an uncertain result.
7. Proposal 1 Medical Marihuana was supported and went into effect in December of 2008. There were multiple revisions and court cases that altered the medical marihuana act from 2008 to 2015. The Medical Marihuana Facilities Licensing Act (MMFLA) of 2016 provided further guidance on dispensaries and clarified the legality of edible products in Michigan. The new law allowed licensed dispensaries to operate in communities that chose to allow them as well as licensing for growers, processors, testing facilities, and transporters. – These changes resulted in the City of Owosso having to amend the ordinance twice with a third time occurring currently.

After a discussion, Planning Commissioners made the motion to recommend that City Council adopt a moratorium on recreational marijuana establishments and local applications until after LARA has established the state regulations/application process and the City has adopted ordinance amendments to regulate recreational marijuana establishments. The motion passed 6-1-2.

RECOMMENDATION:

Recommend that City Council adopt a moratorium on recreational marijuana establishments and local applications until after LARA has established the state regulations/application process and the City has adopted ordinance amendments to regulate recreational marijuana establishments.

ATTACHEMENTS:

Planning Commission DRAFT Meeting Minutes 12-10-18

RESOLUTION NO.

**RESOLUTION AUTHORIZING A MORATORIUM
ON THE ESTABLISHMENT OF RECREATIONAL MARIJUANA FACILITIES
IN THE CITY OF OWOSSO**

WHEREAS, the people of the State of Michigan passed Proposal 1-2018 to allow recreational marijuana beginning December 6, 2018; and

WHEREAS, Proposal 1-2018 mandates that municipalities allow the establishment of recreational marijuana facilities unless they formally choose to opt out of allowing recreational marijuana facilities within their borders; and

WHEREAS, the Michigan Department of Licensing and Regulatory Affairs has until December 6, 2019 to establish rules and regulations regarding recreational marijuana facilities; and

WHEREAS, the City of Owosso considers it necessary and pertinent to establish a moratorium on the establishment of recreational marijuana facilities in order to allow the State to develop the rules and regulations that will govern recreational marijuana facilities; and

WHEREAS, the City of Owosso considers it necessary and pertinent to provide adequate time for the City to properly consider allowing recreational marijuana establishments under the rules and regulations put forth by the State of Michigan.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Owosso, Shiawassee County, Michigan that:

- FIRST: The City of Owosso has theretofore determined that it is advisable, necessary and in the public interest to establish a moratorium on the establishment of recreational marijuana facilities until such time as the State of Michigan Department of Licensing and Regulatory Affairs releases rules and regulations regarding recreational marijuana establishments and the City has had reasonable time to consider whether to allow the establishment of recreational marijuana facilities as governed by said rules and regulations.

**MINUTES
REGULAR MEETING OF THE OWOSSO PLANNING COMMISSION
COUNCIL CHAMBERS, CITY HALL
MONDAY, DECEMBER 10, 2018 – 6:30 P.M.**

CALL TO ORDER: Chairman Wascher called the meeting to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE: Recited

ROLL CALL: Tanya Buckelew

MEMBERS PRESENT: Chairman Wascher, Vice-Chair Livingston, Secretary Janae Fear, Commissioners Jenkins (arrived at 6:31 pm), Lafferty, Law and Taylor

MEMBERS ABSENT: Commissioners Adams and Kirkland

OTHERS PRESENT: Assistant City Manager Amy Cyphert, Argus Press Reporter

APPROVAL OF AGENDA:

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER TAYLOR TO APPROVE THE AGENDA FOR DECEMBER 10, 2018 WITH CHANGES:

1. MOVE NEW BUSINESS ITEM #6 TO OLD BUSINESS ITEM #2
2. OLD BUSINESS #4 CHANGE SEC 97-379 TO SEC 38-379
3. REMOVE NEW BUSINESS ITEM #5
4. CHANGE THE NEXT MEETING DATE YEAR TO 2019.

YEAS ALL. MOTION CARRIED.

APPROVAL OF MINUTES:

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER TAYLOR TO APPROVE THE MINUTES FOR THE NOVEMBER 26, 2018 MEETING.

YEAS ALL. MOTION CARRIED.

OLD BUSINESS:

1. Review of Proposed Amendments to Chapter 26 – Sign Ordinance – Postpone

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY SECRETARY FEAR TO POSTPONE THE REVIEW OF PROPOSED AMENDMENTS TO CHAPTER 26 – SIGN ORDINANCE UNTIL THE JANUARY 28, 2019 MEETING.

YEAS ALL. MOTION CARRIED.

6. Planning Commission discussion and possible recommendation to City Council on a Recreational Marijuana Facility Moratorium – this agenda item was motioned by City Council. *This item was moved here to discuss before the Medical Marihuana Ordinance Amendments*

Ms. Cyphert explained the following in regards to recommending a Recreational Marijuana Establishments and Licensing Moratorium:

Background

At the City Council meeting of December 3rd, the City Manager presented and recommended a moratorium for Recreational Marijuana Establishments. During the discussion, City Council motioned to remand the subject to Planning Commission for their recommendation.

On December 6, 2018, recreational marijuana becomes legal to use, grow, and possess for any Michigan resident who is least 21 years or older. However, the Michigan Department of Licensing and Regulatory Affairs (LARA) has until December 6, 2019 to come up with rules and an application process regulating recreational marijuana establishments.

Staff Recommendation

City Staff recommends the adoption a moratorium on recreational marijuana establishments and local applications until LARA releases its regulations and application process guidelines.

Below are the reasons City Staff recommends and supports the moratorium:

1. The passing of a moratorium on recreational marijuana establishments no way places a moratorium on the usage of recreational marijuana. Recreational marijuana becomes legal to use, grow, and possess for any Michigan resident who is 21 years or older on December 6th.
2. Moratoriums were widely used by communities after the passing of Proposal 1 – Michigan Medical Marijuana Act. They allowed the State and communities time to establish rules and requirements.
3. A moratorium allows the Planning Commission and City Council time to amend the existing medical marijuana ordinance, hold the lottery and get medical marijuana provisioning centers operational.
4. We have yet to see the affects that medical marihuana facilities will have on the City and City's law enforcement.
5. Creating a recreational marijuana establishment ordinance before LARA establishes rules would not be an efficient way of authoring an ordinance. LARA's rules may result in revisions or a complete rewrite of said ordinance due to premature creation. - You would be expending time and money similar to the amendments being done currently for medical marijuana.
6. Waiting and doing nothing would be a worst idea for Owosso because if LARA releases their rules early, Owosso will automatically opt in with no controls in place. By the time, the city scrambles to get something in place after an automatic opt-in we could have situations of vested property rights in place regarding recreational marijuana establishments and nothing to solve the problem but a long and costly route through the court system with an uncertain result.
7. Proposal 1 Medical Marihuana was supported and went into effect in December of 2008. There were multiple revisions and court cases that altered the medical marihuana act from 2008 to 2015. The Medical Marihuana Facilities Licensing Act (MMFLA) of 2016 provided further guidance on dispensaries and clarified the legality of edible products in Michigan. The new law allowed licensed dispensaries to operate in communities that chose to allow them as well as licensing for growers, processors, testing facilities, and transporters. – These changes resulted in the City of Owosso having to amend the ordinance twice with a third time occurring currently.

Commission Action

Recommend that City Council adopt a moratorium on recreational marijuana establishments and local applications until after LARA has established the state regulations/application process and the City has adopted ordinance amendments to regulate recreational marijuana establishments.

Planning Commission Members expressed the need to continue moving forward on this subject and be ready when LARA releases the state regulations/application process.

Commissioners discussed the pros and cons of amending the current Medical Marijuana Ordinance to accommodate Recreational Marijuana.

MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY SECRETARY FEAR TO RECOMMEND THAT CITY COUNCIL ADOPT A TEMPORARY MORATORIUM ON RECREATIONAL MARIJUANA ESTABLISHMENTS AND LOCAL APPLICATIONS UNTIL AFTER LARA HAS ESTABLISHED THE STATE REGULATIONS/APPLICATION PROCESS AND THE CITY HAS ADOPTED ORDINANCE AMENDMENTS TO REGULATE RECREATIONAL MARIJUANA ESTABLISHMENTS.

RCV

YEAS: SECRETARY FEAR, COMMISSIONERS JENKINS AND LAFFERTY, VICE-CHAIR LIVINGSTON, COMMISSIONER TAYLOR AND CHAIRMAN WASCHER

NAYS: COMMISSIONER LAW

MOTION CARRIED

2. Review of Proposed Amendments to Chapter 38 – Zoning Ordinance buffer zone requirements for medical marijuana businesses Sec. 38-197, Sec. 38-217, Sec. 38-242, Sec. 38-267, Sec. 38-292 and provide edits and/or schedule a public hearing for January meeting

MOTION BY COMMISSIONER LAW, SUPPORTED BY VICE-CHAIR LIVINGSTON TO SCHEDULE A PUBLIC HEARING FOR THE PROPOSED AMENDMENTS TO THE MEDICAL MARIJUANA ORDINANCE FOR THE JANUARY 28, 2019 MEETING.

YEAS ALL. MOTION CARRIED.

3. Review of Proposed Amendments to Chapter 38 - Zoning Ordinance industrial outdoor storage screening Sec. 38-292, Sec. 38-312, Sec. 38-393 and 38-389 and provide edits and/or schedule a public hearing for January meeting

MOTION BY COMMISSIONER LAW, SUPPORTED BY VICE-CHAIR LIVINGSTON TO SCHEDULE A PUBLIC HEARING FOR THE PROPOSED AMENDMENTS TO THE ZONING ORDINANCE INDUSTRIAL OUTDOOR STORAGE SCREENING FOR THE JANUARY 28, 2019 MEETING.

YEAS ALL. MOTION CARRIED.

4. **Review of Proposed Amendments to Chapter 38 – Zoning Ordinance amateur radio antenna regulations Sec. 97-379 and provide edits and/or schedule a public hearing for January meeting**

Ms. Cyphert stated she will add language for existing antennas.

MOTION BY COMMISSIONER TAYLOR, SUPPORTED BY COMMISSIONER LAW TO SCHEDULE A PUBLIC HEARING FOR THE PROPOSED AMENDMENTS TO THE ZONING ORDINANCE AMATEUR RADIO ANTENNA REGULATIONS FOR THE JANUARY 28, 2019 MEETING.

YEAS ALL. MOTION CARRIED.

OTHER BOARD BUSINESS:

At the last meeting there were questions about the Smith and Voss temporary sign that was used as a permanent sign. The code enforcement to correct the violation took a year and a half.

ADJOURNMENT:

**MOTION BY COMMISSION TAYLOR, SUPPORTED BY VICE-CHAIR LIVINGSTON TO ADJOURN AT 7:30 P.M. UNTIL THE NEXT MEETING ON JANUARY 28, 2019.
YEAS ALL, MOTION CARRIED.**

Janae L. Fear, Secretary



301 W. MAIN • OWOSSO, MICHIGAN 48867-2958 • (989) 725-0570 • FAX (989) 723-8854

MEMORANDUM

DATE: December 17, 2018
TO: Owosso City Council
FROM: Cheryl Grice, Finance Director
SUBJECT: 2018 UTGO Bond Issue

Please find attached the 2018 UTGO bond issue resolution.

This bond issue is the second and final series of the \$10 million dollar voter approved street financing bonds. The bonds are tentatively scheduled to be issued on December 28, 2018. This issuance will be part of the 2019 tax levy for debt.

Voters approved the \$10 million dollar street improvement bond proposal at the November 2016 election. The first portion was issued in June of 2017. The December 2018 issue will complete the voter approved street borrowing.

The negotiated offer by CFC Capital shown in Exhibit A to the Bond Resolution is similar to the June 2017 issuance. However the interest rate reflects the changing interest rates during the last 18 months.

RECOMMENDATION:

Approval of the resolution for the sale of 2018 Unlimited Tax General Obligation bonds.

**City of Owosso
County of Shiawassee, State of Michigan**

**AUTHORIZING ISSUANCE AND SALE OF
UNLIMITED TAX GENERAL OBLIGATION BONDS**

A RESOLUTION TO:

- Issue \$5,100,000 of Bonds as the second and final series approved by the voters in November 2016 for street improvements;
- Approve negotiated sale to CFC Capital, Inc., a subsidiary of Chemical Bank; and
- Authorize other matters necessary to prepare for sale and delivery of Bonds.

PREAMBLE

WHEREAS, the qualified electors of the City of Owosso, County of Shiawassee, Michigan (the "City") at the general election held on November 8, 2016, did by more than the required majority of those voting approve the following proposal:

**CITY OF OWOSSO
BOND PROPOSAL FOR STREET IMPROVEMENTS**

Shall the City of Owosso, Shiawassee County, Michigan, borrow the principal sum of not to exceed Ten Million Dollars (\$10,000,000) and issue its general obligation unlimited tax bonds therefor in one or more series, payable in not to exceed twenty-five (25) years from the date of issue of each series, for the purpose of paying the costs to the City of acquiring and constructing local and major street improvements in the City consisting of paving, repaving, reconstructing and improving streets, sidewalks, parking areas, and all necessary appurtenances and attachments thereto for the use of the City? The estimated millage to be levied in 2017 is 1.6697 mills (\$1.6697 per \$1,000 of taxable value) and the estimated simple average annual millage rate required to retire the bonds is 1.7479 mills (\$1.7479 per \$1,000 of taxable value).

WHEREAS, on June 30, 2017 the City issued its 2017 Unlimited Tax General Obligation Bonds as the first series of the unlimited tax general obligation bonds described in the proposal in the principal amount of \$4,900,000; and

WHEREAS, in pursuance of the authority granted by Act 279, Public Acts of Michigan, 1909, as amended, the City Charter, and the approving vote of the electors of the City, it is the determination of the City Council that at this time the second and final series of the unlimited tax general obligation bonds described in the proposal shall be issued in the principal amount of Five Million One Hundred Thousand Dollars (\$5,100,000) designated as the 2018 Unlimited Tax General Obligation Bonds (the "Bonds") in order to pay costs of Street Improvements as described in the proposal (the "Street Improvements"); and

WHEREAS, the City hereby determines that it is in the best interests of the City to negotiate the sale of the Bonds to a financial institution for the reason that the City will reduce costs of issuance without a significant increase in interest expense; and

WHEREAS, CFC Capital, Inc., a subsidiary of Chemical Bank has submitted its bid to purchase the Bonds attached as Exhibit A (the "CFC Bid"); and

WHEREAS, the City Council wishes to accept the CFC Bid and to authorize either the Finance Director or the City Manager (either, an "Authorized Officer") to deliver and receive payment for the Bonds.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The City shall issue its Bonds designated as the 2018 UNLIMITED TAX GENERAL OBLIGATION BONDS in the aggregate principal sum of Five Million One Hundred Thousand Dollars (\$5,100,000) for the purpose of paying costs of acquiring and constructing Street Improvements, including the costs incidental to the issuance, sale and delivery of the Bonds.

The Bonds shall be dated as of the date of delivery thereof and shall mature serially on the dates and in the amounts shown on the CFC Bid as attached hereto and made part hereof. The Bonds shall bear interest at the rates as shown on the CFC Bid, payable semi-annually on November 1 and May 1 commencing November 1, 2019, accruing from the date of delivery of the Bonds. The Bonds shall be subject to optional redemption prior to maturity on any date on or after May 1, 2020, at par plus accrued interest to the date fixed for redemption. The Bonds shall consist of bonds in fully-registered form of the denomination of \$5,000, or integral multiples thereof not exceeding for each maturity the maximum principal amount of that maturity, numbered in order of registration or as determined by the Transfer Agent (defined below).

U.S. Bank National Association, Lansing, Michigan is designated to act as registrar, paying agent and transfer agent for the Bonds (the "Transfer Agent"). The Authorized Officer is authorized to execute one or more agreements with the Transfer Agent on behalf of the City. The City reserves the right to replace the Transfer Agent at any time, provided written notice of such replacement is given to the registered owners of record of the Bonds not less than sixty (60) days prior to an interest payment date.

The Bonds shall be issued in book-entry-only form through The Depository Trust Company in New York, New York ("DTC") and an Authorized Officer is authorized to execute such custodial or other agreement with DTC as may be necessary to accomplish the issuance of the Bonds in book-entry only form, and to make such changes in the form of the Bonds within the parameters of this Resolution as may be required to accomplish the foregoing.

Payment of the principal of and interest on the Bonds shall be made in the manner prescribed by DTC. In the event the book-entry-only system is discontinued, the principal of the Bonds shall be payable upon presentation and surrender of such Bonds to the Transfer Agent.

Interest on the Bonds shall be payable to the registered owner of record as of the 15th day of the month prior to the payment date for each interest payment. The record date of determination of registered owner for purposes of payment of interest as provided in this paragraph may be changed by the City to conform to market practice in the future. Interest shall be payable by check or draft drawn on the Transfer Agent mailed to the registered owner at the registered address, as shown on the registration books of the City maintained by the Transfer Agent.

The Transfer Agent shall keep the books of registration for this issue on behalf of the City. Any Bond may be transferred upon such registration books by the registered owner of record, in person or by the registered owner's duly authorized attorney, upon surrender of the Bond for cancellation, accompanied by delivery of a duly executed written instrument of transfer in a form approved by the Transfer Agent. Whenever any Bond or Bonds shall be surrendered for transfer, the City shall execute and the Transfer Agent shall authenticate and deliver a new Bond or Bonds, for like aggregate principal amount. The Transfer Agent shall require the payment by the bondholder requesting the transfer of any tax or other governmental charge required to be paid with respect to the transfer.

If in the future the City calls bonds for redemption prior to maturity then official notice of redemption shall be given by the Transfer Agent on behalf of the City unless receipt of notice is waived by any registered owner of Bonds to be redeemed. Such notice shall be dated and shall contain at a minimum the following information: original issue date; maturity dates; interest rates; CUSIP numbers, if any; certificate numbers (and in the case of partial redemption) the called amounts of each certificate; the place where the Bonds called for redemption are to be surrendered for payment; and that interest on the

Bonds or portions thereof called for redemption shall cease to accrue from and after the redemption date. In addition, further notice shall be given by the Transfer Agent in such manner as may be required or suggested by regulations or market practice at the applicable time, but no defect in such further notice nor any failure to give all or any portion of such further notice shall in any manner defeat the effectiveness of a call for redemption if notice thereof is given as prescribed herein.

2. The Bonds shall be executed in the name of the City with the manual or facsimile signatures of the Mayor and the City Clerk, and the corporate seal of the City shall be manually impressed or a facsimile thereof shall be printed on the Bonds. No Bond authorized under this resolution shall be valid until authenticated by an authorized representative of the Transfer Agent. The Bonds shall be delivered to the Transfer Agent for authentication and be delivered by the Transfer Agent to the purchaser or other person in accordance with instructions from an Authorized Officer.

3. The Finance Director or Treasurer is authorized and directed to open a separate depository or trust account with a bank or trust company to be designated as the 2018 UNLIMITED TAX GENERAL OBLIGATION BOND DEBT RETIREMENT FUND (the "Debt Retirement Fund"). The City hereby pledges its unlimited tax full faith and credit for the prompt payment of the Bonds. All proceeds from taxes levied for the Debt Retirement Fund shall be deposited into the Debt Retirement Fund as collected. Commencing with the year 2019 there shall be levied upon the tax rolls of the City for the purpose of the Debt Retirement Fund each year, in the manner required by the provisions of Act 34, Public Acts of Michigan, 2001, as amended, an amount sufficient so that the estimated collection therefrom will be sufficient to promptly pay, when due, the principal of and interest on the Bonds becoming due prior to the next annual tax levy; provided, however, that if at the time of making any such annual tax levy there shall be other funds available or surplus moneys on hand in the Debt Retirement Fund for the payment of principal of and interest on the Bonds, then credit therefor may be taken against such annual levy for the Debt Retirement Fund. The moneys deposited in the Debt Retirement Fund shall be specifically earmarked and used solely for the purpose of paying the principal of and interest on the Bonds and, as may be necessary, to rebate arbitrage earnings, if any, to the United States Department of Treasury as required by the Internal Revenue Code of 1986, as amended. The accrued interest and premium, if any, received upon delivery of the Bonds shall also be deposited in the Debt Retirement Fund. The Debt Retirement Fund may be pooled or combined with other debt retirement funds for issues of bonds of like character as provided by Act 34 or other state law.

In the event a deposit of trust is made of cash or direct obligations of the United States or obligations the principal of and interest on which are guaranteed by the United States, or a combination thereof, the principal of and interest on which, without reinvestment, come due at times and in amounts sufficient to pay at maturity or irrevocable call for earlier optional redemption, the principal of, premium, if any, and interest on the Bonds, this Resolution shall be defeased and the owners of the Bonds shall have no further rights under this Resolution except to receive payment of the principal of, premium, if any, and interest of the Bonds from the cash or securities deposited in trust and the interest and gains thereon and to transfer and exchange Bonds as provided herein.

4. The Finance Director or Treasurer is authorized and directed to open a separate depository account designated as the 2018 UNLIMITED TAX GENERAL OBLIGATION BOND CONSTRUCTION FUND (the "Construction Fund") with a bank or trust company (the "Depository Bank"). The Finance Director or Treasurer shall deposit the proceeds of the Bonds into the Construction Fund, less any costs of issuance of the Bonds specified by the Finance Director, including but not limited to fees payable to the Municipal Advisory Council of Michigan, transfer agent fees, bond counsel fees, State Treasury filing fees, and any other costs necessary to accomplish sale and delivery of the Bonds which may be wired by the purchaser of the bonds or the Depository Bank directly to the provider of services as authorized by the Finance Director. The moneys in the Construction Fund shall be used solely to pay the costs of the Street Improvements and to pay costs of issuance of the Bonds.

5. The Bonds shall be in substantially the following form with such revisions, additions and deletions as may be advisable or necessary to comply with the final terms of the Bonds established upon sale thereof:

[FORM OF BOND TO BE COMPLETED AFTER BOND SALE]

UNITED STATES OF AMERICA

STATE OF MICHIGAN

COUNTY OF SHIAWASSEE

CITY OF OWOSSO

2018 UNLIMITED TAX GENERAL OBLIGATION BOND

<u>Interest Rate</u>	<u>Date of Maturity</u>	<u>Date of Original Issue</u>	<u>CUSIP</u>
----------------------	-------------------------	-----------------------------------	--------------

Registered Owner:

Principal Amount:

The CITY OF OWOSSO, County of Shiawassee, State of Michigan (the "City"), acknowledges itself to owe and for value received, hereby promises to pay to the Registered Owner specified above, or registered assigns, the Principal Amount specified above, in lawful money of the United States of America, on the Date of Maturity specified above, unless prepaid prior thereto as hereinafter provided, with interest thereon (computed on the basis of a 360-day year consisting of twelve 30-day months) from the Date of Original Issue specified above or such later date to which interest has been paid, until paid, at the Interest Rate per annum specified above, first payable on November 1, 2019 and semiannually thereafter. Principal of this bond is payable at the designated corporate trust office of U.S. Bank National Association, Lansing, Michigan, or such other transfer agent as the City may hereafter designate by notice mailed to the registered owner hereof not less than sixty (60) days prior to any interest payment date (the "Transfer Agent"). Interest on this bond is payable by check or draft mailed by the Transfer Agent to the person or entity who or which is as of the fifteenth (15th) day of the month prior to each interest payment date, the registered owner, at the registered address.

This bond is one of a series of bonds of even Date of Original Issue aggregating the principal sum of \$5,100,000, issued for the purpose of paying costs of acquiring and constructing local and major street improvements throughout the City as the second and final series of bonds issued in pursuance of a vote of the qualified electors of the City voting thereon at the general election held on November 8, 2016.

For prompt payment of this bond, both principal and interest, the full faith, credit and resources of the City are hereby irrevocably pledged. This bond is payable out of the City's Debt Retirement Fund for this issue, and in order to make such payment, the City is required each year to levy taxes on all taxable property within the boundaries of the City for such payment, without limitation as to either rate or amount.

Bonds of this issue maturing on May 1, 2020 are not subject to redemption prior to maturity.

Bonds or portions of bonds of this issue in multiples of \$5,000 maturing on or after May 1, 2021 shall be subject to redemption prior to maturity at the option of the City, in such order as the City shall determine and within any maturity by lot, on any date on or after May 1, 2020 at par plus accrued interest to the date fixed for redemption.

In case less than the full amount of an outstanding bond is called for redemption, the Transfer Agent upon presentation of the bond called in part for redemption shall register, authenticate and deliver to the registered owner of record a new bond of the same maturity and in the principal amount of the portion of the original bond not called for redemption.

Notice of redemption shall be given by the Transfer Agent to each registered owner of bonds or portions thereof to be redeemed by mailing such notice not less than thirty (30) days prior to the date fixed for redemption to the registered owner of record at the address of the registered owner as shown on the registration books of the City kept by the Transfer Agent. Bonds shall be called for redemption in multiples of \$5,000, and bonds of denominations of more than \$5,000 shall be treated as representing the number of bonds obtained by dividing the denomination of the bonds by \$5,000, and such bonds may be redeemed in part. The notice of redemption for bonds redeemed in part shall state that, upon surrender of the bond to be redeemed, a new bond or bonds in the same aggregate principal amount equal to the

unredeemed portion of the bonds surrendered shall be issued to the registered owner thereof with the same interest rate and maturity. No further interest on bonds or portions of bonds called for redemption shall accrue after the date fixed for redemption, whether the bonds have been presented for redemption or not, provided funds are on hand with the Transfer Agent to redeem the bonds or portion thereof.

Any bond may be transferred by the person in whose name it is registered, in person or by the registered owner's attorney or legal representative duly authorized in writing, upon surrender of the bond to the Transfer Agent for cancellation, together with a duly executed written instrument of transfer in a form approved by the Transfer Agent. Whenever any bond is surrendered for transfer, the Transfer Agent shall authenticate and deliver a new bond or bonds, in like aggregate principal amount, interest rate and maturity. The Transfer Agent shall require the bondholder requesting the transfer to pay any tax or other governmental charge required to be paid with respect to the transfer. The Transfer Agent shall not be required to issue, register the transfer of, or exchange any bond during a period beginning at the opening of business 15 days before the day of the mailing of a notice of redemption of bonds selected for redemption and ending at the close of business on the day of that mailing.

It is hereby certified and recited that all acts, conditions and things required by law to be done, exist and happen, precedent to and in the issuance of this bond and the series of bonds of which this is one, in order to make them valid and binding obligations of the City have been done, exist and have happened in regular and due form and time as provided by law, and that the total indebtedness of the City, including this bond and the series of bonds of which this is one, does not exceed any constitutional, statutory or charter debt limitation.

This bond is not valid or obligatory for any purpose until the Transfer Agent's Certificate of Authentication on this bond has been executed by the Transfer Agent.

IN WITNESS WHEREOF, the City of Owosso, County of Shiawassee, State of Michigan, by its City Council, has caused this bond to be signed in the name of the City by [the facsimile signatures of] its Mayor and Clerk, and a facsimile of its corporate seal to be [manually impressed/printed] hereon, all as of the Date of Original Issue.

CITY OF OWOSSO

County of Shiawassee, State of Michigan

By [Mayor to sign Bond]
Mayor

(City Seal)

Countersigned:

By [Clerk to sign Bond]
City Clerk

[INSERT STANDARD FORM OF
TRANSFER AGENT'S CERTIFICATE OF AUTHENTICATION]
[INSERT STANDARD FORM OF ASSIGNMENT]

6. The City hereby requests Miller, Canfield, Paddock and Stone, P.L.C. to continue as bond counsel to the City for the Bonds. Bond Counsel is not retained to provide financial consultant services. The City Council acknowledges that Miller, Canfield, Paddock and Stone, P.L.C. represents many municipal bond underwriters, banks, and financial institutions, including Chemical Bank, in connection with matters unrelated to issuance of the Bonds by the City. Bond Counsel will not represent Chemical Bank or any other party other than the City in connection with the issuance or sale of the Bonds.

7. The City shall not invest, reinvest or accumulate any moneys deemed to be proceeds of the Bonds pursuant to the Internal Revenue Code of 1986, as amended (the "Code"), in such a manner as to cause the Bonds to be "arbitrage bonds" within the meaning of the Code. The City hereby covenants that, to the extent permitted by law, it shall take all actions within its control and that it shall not fail to take any action necessary to maintain the exclusion of the interest on the Bonds from adjusted gross income for general federal income tax purposes under the Code, including, but not limited to,

actions relating to the rebate of arbitrage earnings, if applicable, and the expenditure of investment of Bond proceeds and moneys deemed to be Bond proceeds, all as more fully set forth in the Non-Arbitrage and Tax Compliance Certificate to be delivered by the City with respect to the Bonds.

8. The City hereby designates the Bonds as “qualified tax exempt obligations” for purposes of deduction of interest expense by financial institutions pursuant to the Code.

9. The estimated period of usefulness of the Street Improvements to be constructed and acquired with proceeds of the Bonds is hereby declared to be not less than 25 years.

10. The City hereby determines that it is in the best interests of the City to negotiate the sale of the Bonds to a financial institution for the reason that the City will reduce costs of issuance without a significant increase in interest expense.

11. CFC Capital, Inc., a subsidiary of Chemical Bank (the “Bank”) has submitted a bid to purchase the Bonds at par, a copy of which has been presented to Council with this resolution. The City hereby accepts the CFC bid provided that the Bank furnishes, prior to the delivery of the Bonds, a certificate in a form acceptable to bond counsel to the effect that the Bank is an investor with experience in the municipal bond market, and is capable of evaluating the merits and risks of investment in the Bonds.

12. In the event that delivery of the Bonds to the Bank does not occur, the Authorized Officer is authorized to negotiate sale of the Bonds to a financial institution or other purchaser with experience in the municipal bond market, provided that the Bonds shall bear interest at a rate or rates not exceeding 6.00% per annum. The purchase price for the Bonds, exclusive of any original issue discount or premium, shall not be less than 99.00% of the principal amount of the Bonds plus accrued interest if any. Approval of the matters delegated to the Authorized Officer under this resolution may be evidenced by execution of the purchase agreement or other acceptance of an offer to purchase the Bonds.

13. The officers, administrators, agents and attorneys of the City are authorized and directed to take all other actions necessary and convenient to facilitate sale and delivery of the Bonds and expenditure of Bond proceeds, and to execute and deliver all other agreements, documents and certificates and to take all other actions necessary or convenient to complete the issuance, sale, and delivery of the Bonds and expenditure of Bond proceeds in accordance with this Resolution including payment of costs of issuance including Municipal Advisory Council fee, State Treasury filing fee, transfer agent fees, bond counsel fees, and any other costs necessary to accomplish sale and delivery of the Bonds.

14. All resolutions and parts of resolutions insofar as they conflict with the provisions of this Resolution are hereby rescinded.

I hereby certify that the foregoing is a true and complete copy of a resolution duly adopted by the City Council of the City of Owosso, County of Shiawassee, State of Michigan, at a Regular meeting held on December 17, 2018 at 7:30 p.m., Eastern Time, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act 267.

I further certify that the following Members were present at said meeting: _____

_____ and that the following Members were absent: _____.

I further certify that Member _____ moved for adoption of said resolution and that Member _____ supported said motion.

I further certify that the following Members voted for adoption of said resolution: _____

_____ and that the following Members voted against adoption of said resolution: _____.

City Clerk

32553433.1\066968-00068



235 E. MAIN STREET | PO BOX 569 | MIDLAND, MI 48640
T: 800.867.9757 | W: ChemicalBankMI.com

Exhibit A to Bond Resolution

December 4, 2018

City of Owosso
301 W. Main Street
Owosso, MI 48867

Dear Ms. Grice

With respect to your Request for Proposals for \$5,100,000 – City of Owosso – County of Shiawassee, State of Michigan, Series 2018 GOUT - please be advised as follows:

For the entire issue, as described in your Request for Proposal, we will bid par, plus accrued interest from the dated date to the date of delivery to us for the serial notes maturing and bearing interest as follows:

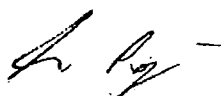
5/1/2020	\$140,000	2.65%	5/1/2025	\$220,000	3.15%	5/1/2030	\$260,000	3.70%	5/1/2035	\$300,000	4.00%
5/1/2021	200,000	2.75%	5/1/2026	230,000	3.30%	5/1/2031	265,000	3.80%	5/1/2036	310,000	4.10%
5/1/2022	205,000	2.85%	5/1/2027	235,000	3.40%	5/1/2032	275,000	3.85%	5/1/2037	315,000	4.15%
5/1/2023	210,000	2.95%	5/1/2028	240,000	3.55%	5/1/2033	280,000	3.90%	5/1/2038	325,000	4.20%
5/1/2024	215,000	3.05%	5/1/2029	250,000	3.65%	5/1/2034	290,000	3.95%	5/1/2039	335,000	4.30%

This bid is subject to the following conditions:

- A. That the bonds be exempt from federal and state income tax and further be declared to be a "Qualified Tax-Exempt Obligation" for the purpose of deduction of interest expense by financial institutions;
- B. That the bonds be a general obligation of the City of Owosso;
- C. That the bonds be structured in accordance with Michigan statutes pertaining to the borrowing for Cities;
- D. That the issuer provides bond documents and a legal opinion acceptable to bank counsel and;
- E. That the issuer will provide a third party paying agent, CUSIP numbers will be provided at the expense of the Bank, and the issue will close via DTC.

The rate commitments stated above will expire 30 days from the date of this letter unless extended by the Bank in writing

Respectfully submitted,


John Pepmeier
Vice President
CFC Capital

The following is a computation of the true interest cost on the above bid from December 20, 2018. This computation is not to be considered part of this bid and is subject to verification:

Gross Interest Cost	\$2,364,039.59
Premium (Discount)	0.00
Net Interest Cost	\$2,364,039.59
Net Interest Rate	3.88000%



DATE: 12.12.18
TO: CITY COUNCIL
FROM: CITY MANAGER
SUBJECT: OSBURN LAKES PURCHASE AGREEMENT DUE DILIGENCE EXTENSION #2

BACKGROUND

On August 27, 2018 the City entered into a purchase agreement with Wade Journey Homes for the purchase of 10 city-owned lots in the Osburn Lakes development. It was a full price offer so City Council did not have to vote on the sale. Therefore, I as city manager was able to sign.

However, for any extension of the due diligence periods on these purchase agreements, Council would need to consider it. In this case the city received notice from our realtor 24 hours before the due diligence period was to expire (this time Dec 12) saying that Wade Journey Homes was requesting an extension. This lack of lead time was not the fault of our realtor because she had only found out from Wade Journey herself. Turns out that Wade Journey was recently purchased by another company and the new parent company has its own procedure for due diligence on real estate purchases – and they subsequently needed more time because they were starting over.

Additionally, this time Wade Journey requested that we agree to drop one of the 10 lots in the initial agreement to make the total 9. They wanted to drop lot 82. After speaking to Mrs. Howansky, I agreed.

Like the last request, I did not want to call a special meeting to address this issue. However, on advice from Mrs. Howansky, this will be the last extension I will support. If, on January 9, this new deadline passes without action from Wade Journey I will be directing Mrs. Howansky to relist these 9 lots so that we do not encroach on the busy spring real estate market.



GEOTECHNICAL AND PAVEMENT EVALUATION REPORT

OSBURN LAKES RESIDENTIAL DEVELOPMENT PHASE II
OWOSSO, MICHIGAN

SME Project No. 080282.00
November 29, 2018





2663 Eaton Rapids Road
Lansing, MI 48911-6310

T (517) 887-9181

www.sme-usa.com

November 29, 2018

Mr. Randy Chesney, PE
City of Owosso
301 West Main
Owosso, Michigan 48867

Via E-mail: randy.chesney@ci.owosso.mi.us (PDF file)

RE: Geotechnical and Pavement Evaluation
Osburn Lakes Residential Development Phase II
Owosso, Michigan
SME Project No. 080282.00

Dear Mr. Chesney:

We have completed our geotechnical evaluation for the pavements and utilities portion of the subject project. This report presents the results of our observations and analyses, and our geotechnical and pavement recommendations based on the information disclosed by the borings.

We appreciate this opportunity to be of service. If you have questions or require additional information, please contact me.

Sincerely,

SME

Bradford L. Ewart II, PE
Senior Project Consultant

Prepared By:
Bradford L. Ewart II, PE
Senior Project Consultant

Zachary L. Miller, EIT
Staff Engineer

Reviewed By:
Timothy J. Mitchell, PE
Principal Consultant

Jason A. Schwartzenberger, PE
Vice President

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APPENDIX A

BORING LOCATION DIAGRAM (FIGURE NO. 1)

BORING LOG TERMINOLOGY

BORING LOGS (B1 THROUGH B16)

USACE DCP DATA SHEETS (B12 THROUGH B16)

APPENDIX B

IMPORTANT INFORMATION ABOUT THIS GEOTECHNICAL ENGINEERING
REPORT

GENERAL COMMENTS

LABORATORY TESTING PROCEDURES

1. INTRODUCTION

This report presents the results of the geotechnical evaluation performed by SME for the proposed Osburn Lakes Residential Development Phase II project in Owosso, Michigan. This evaluation was conducted in general accordance with the scope of service outlined in SME Proposal No. P03157.18, dated September 25, 2018, and addresses the construction of proposed pavements and utilities, but not the suitability of the individual residential sites for future construction.

Our services for this evaluation were authorized by the City of Owosso (the City). The City provided SME with the following information which was used in our evaluation and the preparation of this report:

- A PDF file of a drawing titled “Development Plan”, Sheet 1, with latest issue date of June 3, 2003, prepared by Gould Engineering for the “Osburn Lakes” project. This drawing contains a schematic layout of the existing residential development, the proposed Phase II development layout, and layouts of existing site features including wetland areas.
- Five PDF files of plan sheets titled “Preliminary Storm Sewer and Drainage Plan,” Sheets 1 through 5, with latest issue date of June 23, 2003, prepared by Gould Engineering for the “Osburn Lakes Condominiums” project. The drawings contain existing site features and topographic information, preliminary storm sewer layout, and proposed lot and road configuration for the development.

1.1 SITE CONDITIONS AND PROJECT DESCRIPTION

The project site is located to the south of the existing Osburn Lakes residential development on North Gould Street in Owosso, Michigan. The site is located on the east side of North Gould Street, between the cross-streets of Atlantic Avenue and Crystal Lane. The Osburn Drain and the Caledonia Township boundary line form the east boundary of the project site. The location of the site is depicted on the Location Map inset on the Boring and Muck Probe Location Diagram (Figure No. 1) included in Appendix A.

The project will consist of the construction of Phase II of the Osburn Lakes residential development. The project will include constructing new roadways throughout the development, and connecting the new roadways to North Gould Street to the west (at the Huntington Drive intersection), and to several of the existing roadways within the existing development to the north (Moore Street, Beech Street, and Juniper Street). New sanitary and storm water utilities will be constructed as part of the project. The utility alignments had not been designed at the time this report was prepared. However, based on correspondence with you, water main inverts will be about 6 feet deep, and storm and sanitary inverts will range from about 7 to 12 feet deep. Depths are referenced below the existing ground surface.

The project site covers an area of approximately 70 acres. The proposed Phase II development area covers approximately 33 of the 70 acres, located primarily along the north and west portions of the site. Approximately 95 lots are proposed for the development. The north portion of the site is relatively flat and currently overgrown with grass and occasional small trees. A wooded area containing a small pond and several wetland areas are located in the northeast portion of the site. Much of the south portion of the site is wooded, and a wetland area and several small bodies of water are located to the south and east of the proposed limits of the new development phase. USDA Soils Maps indicate areas of Linwood muck are present in and around the wetland areas, close to the proposed development limits.

Based on the provided drawings, existing ground surface elevations within the proposed limits of development range from around 735 to 750 feet. The existing ground surface elevations within the wetland areas depicted in the provided drawings range from about 733 to 736 feet. In general, the alignments of the proposed roadways follow the naturally higher ground, with existing ground surface elevations typically 5 to 10 feet higher than the adjacent wetland areas.

2. EVALUATION PROCEDURES

2.1 FIELD EXPLORATION

SME completed eight borings (B1 through B8) at the site on November 9, 2018. Borings B1, B3, B5, B7 and B8 each extended 15 feet below the existing ground surface, and borings B2, B4 and B6 each extended 10 feet below the existing ground surface. SME also performed eight muck probes (MP1 through MP8) at selected locations located at the transition between residential lots and the adjacent wetland areas. The approximate locations of the borings and muck probes are depicted on the Boring and Muck Probe Location Diagram (Figure No. 1).

SME determined the planned number, locations, and depths of the borings. SME staked the locations of the borings at the site on November 3, using a GPS unit with a sub-meter accuracy. Existing ground surface elevations at the boring and muck probe locations were estimated by SME to the nearest 1-foot based on the topographic information shown on the referenced drawings.

The borings were drilled using a rotary drill rig mounted on an all-terrain vehicle (ATV) and were advanced using continuous-flight, solid-stem augers. The borings included soil sampling based upon the Split-Barrel Sampling procedure. Recovered split-barrel samples were sealed in glass jars by the driller.

The muck probes were performed with a tee-handled, 7/16-inch diameter steel rod and pointed tip. The muck probes were manually advanced through the soil until refusal was encountered, at which point the depth from existing ground surface to the probe tip was recorded. The muck probe locations and corresponding depths to refusal are depicted on Figure No. 1.

Groundwater level observations in the boreholes were recorded during and immediately after completion of each boring. The boreholes were backfilled after completion and collection of groundwater readings. Therefore, long-term groundwater levels were not obtained from the borings.

SME performed U.S. Army Corp of Engineers (USACE) Dynamic Cone Penetrometer (DCP) tests at each of the boring locations on November 3. The DCP testing was conducted to estimate the California Bearing Ratio (CBR) of the subgrade materials. The USACE DCP tests extended to about 1 meter below the existing ground surface. The USACE DCP tests consisted of a 5/8-inch-diameter steel rod with an attached steel cone tip that was driven into the subgrade by means of a sliding, dual-mass hammer. The rate of cone penetration per blow was measured at selected penetration or hammer drop intervals. The DCP test data were used to estimate the CBR value of the subgrade using relationships developed by the USACE. The results of the USACE DCP testing, including a plot of subgrade CBR versus depth, are contained on the USACE DCP Data sheets in Appendix A.

Soil samples recovered from the field exploration were delivered to the SME laboratory for further observation and testing.

2.2 LABORATORY TESTING

The laboratory testing program consisted of performing visual soil classification on recovered soil samples in accordance with ASTM D-2488. Moisture content and hand penetrometer tests were performed on portions of recovered cohesive samples obtained from the borings. The Laboratory Testing Procedures in Appendix B provides general descriptions of the laboratory tests. Based on the laboratory testing, we developed a soil description and assigned a Unified Soil Classification System (USCS) group symbol to each of the soil strata encountered.

Upon completion of the laboratory testing, boring logs were prepared that include the soil descriptions, penetration resistances, pertinent field observations made during the drilling operations, and the results of the laboratory tests. The estimated existing ground surface elevations at the boring locations are also

provided on the boring logs. The boring logs are contained in Appendix A of this report. Explanations of symbols and terms used on the logs are provided on the attached Boring Log Terminology sheet.

Soil samples retained over a long time, even sealed in jars, are subject to moisture loss and are no longer representative of the conditions initially encountered in the field. Therefore, soil samples are normally retained in our laboratory for 60 days and are then disposed of, unless we are instructed otherwise.

3. SUBSURFACE CONDITIONS

3.1 SOIL CONDITIONS

The soil conditions encountered at the borings generally consisted of about 4 to 18 inches of surface topsoil overlying stiff to hard natural clays that extended to the explored depths of the borings. Occasional silt or sand strata were encountered within the predominately clay soils.

The soil profile described above and included on the appended boring logs is a generalized description of the conditions encountered. The stratification depths shown on the boring logs are intended to indicate a zone of transition from one soil type to another. They are not intended to show exact depths of change from one soil type to another. Soil conditions may vary between or away from the boring locations from those conditions noted on the logs. Please refer to the boring logs for the soil conditions at the specific boring locations.

3.2 GROUNDWATER CONDITIONS

Groundwater was encountered during drilling and upon completion at boring B1 at a depth of 14 feet below the existing ground surface (elevation of 731 feet). Groundwater was not encountered at the remaining boring locations either during drilling or upon completion of the borings.

A long time can be required for groundwater levels to reach equilibrium in small diameter boreholes, particularly in low permeability clay and silt soils. At this site, installation of groundwater level observation wells and longer term monitoring would be necessary to more accurately estimate the static groundwater level.

Hydrostatic groundwater levels should be expected to fluctuate throughout the year, based on variations in precipitation, evaporation, run-off, and other factors. The groundwater conditions indicated by the borings represent conditions at the time the readings were taken. The actual groundwater conditions at the time of construction may vary from those conditions reported on the boring logs.

3.3 MUCK DEPOSITS

Muck probes (depth soundings) were performed in two distinct groupings within the site. Muck probes MP1 through MP4 were performed in the southwest portion of the site, adjacent to borings B6 through B8. The estimated existing ground surface elevations at these locations range from 734 to 736 feet. Firm bottom at these locations was perceived at the refusal depths of 2.5 to 6 feet below the existing ground surface.

Muck probes MP5 through MP8 were performed in the northeast portion of the site, adjacent to borings B1 through B3, with estimated ground surface elevations ranged from 735 to 740 feet. Firm bottom at these locations was perceived at the refusal depths of 2 to 10 feet below the existing ground surface.

These test locations were selected based on available USDA soils information and provided wetland delineation information. We recommend further defining the extents of muck and/or marsh deposits within the development limits, primarily where wetland areas encroach into the proposed lots.

The muck probe locations and corresponding depths to refusal are depicted on Figure No. 1.

4. ANALYSIS AND RECOMMENDATIONS

4.1 PROPOSED UTILITIES

4.1.1 PIPELINE TRENCH EXCAVATION RECOMMENDATIONS

The proposed water alignment is planned to be installed using open cut techniques. Open excavations with sloped sides in accordance with MI-OSHA requirements would be feasible where the excavation depth and alignment will allow suitable side-slopes that do not encroach upon existing structures or utilities. However, in cases where the excavation will be located near existing roadways or utilities, sloped sides may not be feasible and excavation bracing will be necessary.

Based on the borings, excavations are not anticipated to encounter weak organic soils that are likely present in the adjacent wetland areas. If weak organic soils are encountered, additional earth retention measures will be necessary to provide safe excavations and additional pipe support alternatives could be necessary. Contact SME for additional geotechnical recommendations in the event weak organic soils are encountered.

We do not anticipate significant groundwater in utility excavations. However, accumulations from precipitation events, surface run-off, or seepage from perched groundwater sources could be encountered. Based on the generally low permeability of the clay soils encountered in the borings, we anticipate standard sump pit and pumping procedures should be adequate to control groundwater accumulations, on a localized basis. A working surface of either crushed aggregate or crushed concrete may be required to protect the exposed subgrade where seepage is encountered.

The contractor must provide a safely sloped excavation or an adequately constructed and braced shoring system in accordance with federal, state, and local safety regulations for individuals working in an excavation that may expose them to the danger of moving ground. Excavation sidewalls must be adequately sloped back and/or braced to prevent sloughing and caving of sidewalls. If material is stored or equipment is operated near an excavation, use stronger shoring to resist the extra pressure due to the superimposed loads.

In areas where adequate side sloping or benching is not feasible, due to alignment constraints or proximity of existing infrastructure, support the excavation sidewalls with internally braced sheeting or trench boxes. We recommend basing the actual type of lateral support utilized on the encountered soil and groundwater conditions, depth of the excavation and proximity of nearby structures, allowable movements, and including static or dynamic loads from adjacent roadways.

We recommend earth retention systems required during construction to facilitate open cut utility installation be provided by an experienced registered professional engineer and installed by a contractor experienced with the specific type of construction. Appropriate measures for providing temporary support of existing utility and pavement structures will be required where any proposed open cut portion of the alignment crosses or is in close proximity of existing utilities or structures.

4.1.2 PIPE SUPPORT

Based on the borings, the natural inorganic clays and silts encountered at the proposed utility invert depths should be suitable to support the proposed sewer pipes and water main.

Unsuitable soil conditions may be encountered along the alignment during installation. In addition, the subgrade soils may become disturbed due to the construction operations. Overly loose sands, lower strength clays, or disturbed soils should be stabilized with crushed aggregates. Soils that cannot be

adequately stabilized, organics, or other unsuitable materials must be removed and replaced with engineered fill to reestablish the design invert elevation. Undercut excavations to remove unsuitable soils should be properly oversized beneath utility pipes, manholes and other structures, and replaced with crushed aggregate or crushed concrete to provide a stable working surface. The required thickness of this stabilization layer will depend on the severity of the poor soils and the groundwater conditions.

We recommend bedding the new pipelines and structures with an approved granular material meeting the requirements of the appropriate municipal agency. The placement and compaction of the bedding material should also conform to the requirements of the appropriate municipal agency and current buried pipe design practice. In the absence of specific municipality compaction guidelines, follow the compaction requirements of Section 4.2 of this report. Backfill materials placed in structural areas, such as beneath roadways, should be compacted to at least 95 percent of the maximum dry density based on the modified Proctor test. Backfill placed in non-structural areas should be compacted to at least 92 percent, to resist future subsidence.

4.2 ENGINEERED FILL

Fill placed within structural areas, including utility trench backfill, should be an approved material, free of frozen soil, organics, over-sized materials (greater than 3-inches in diameter), or other deleterious materials. Fill placed in structural areas, should be compacted to a minimum of 95 percent of the maximum dry density determined in accordance with the Modified Proctor test. Fill placed in non-structural areas should be compacted to at least 92 percent, to resist future subsidence.

Fill should be spread in level layers with a loose thickness appropriate for the type of equipment used to obtain compaction. Sand fill should be compacted with a smooth drum vibratory roller or vibratory plate compactors including either walk-behind types, or plate compactors mounted on a backhoe or excavator (hoe-pacs), while clay fill should be compacted with a sheepsfoot roller. Thinner lifts will be required in areas where compaction is achieved with hand-operated equipment.

Based on the information from the borings, the natural clays are suitable for reuse as engineered fill, provided the material meets the requirements in the previous paragraph. We do not recommend silts be reused as engineered fill. The clays are considered moisture-sensitive and could be difficult to compact, particularly when moisture contents are above the optimum moisture content. In addition, clay can be difficult to compact in trenches, particularly where smaller compaction equipment must be used. Therefore, some or all of the clay may not be feasible to successfully reuse as backfill. We recommend imported fill meet the requirements of MDOT Class II granular material.

In utility trenches and in other areas where compaction is accomplished primarily by smaller plate compaction equipment, an approved granular material containing relatively low amounts of silt or clay, such as MDOT Class II granular material, should be used as backfill. Thinner lift sizes may be required to achieve the required density in areas where smaller compaction equipment is used. MDOT Class II granular material should also be used in areas requiring drainage or where the fill will serve as a capillary separation.

Pipe bedding should meet the material and density requirements of the governing agency and as shown on the approved project design details.

Coarse crushed aggregate used to backfill undercuts or to stabilize subgrades should consist of a well-graded crushed natural aggregate or crushed concrete ranging from 1 to 3 inches in size with no more than 7 percent by weight passing the No. 200 sieve. In cases where granular engineered fill will be placed over the crushed aggregate, the surface of the coarse crushed material should be choked with a layer of at least 6 inches of dense-graded aggregate, such as MDOT 21AA, or covered with a non-woven geotextile, to prevent migration of the granular materials into the coarser crushed aggregate.

4.3 GENERAL CONSIDERATIONS

The contractor must take precautions to protect adjacent existing buildings, roadways, and utilities during construction of the proposed utilities and pavements. Care must be exercised during the excavating and compacting operations so that excessive vibrations do not cause settlement of existing buildings, roadways, and utilities, and to avoid undermining existing structures or utilities while excavating. A preconstruction condition survey of adjacent structures should be considered to document existing conditions. The condition survey could include photos, video, and elevation measurements. Contact SME for assistance in conducting a condition survey and monitoring vibrations during critical portions of the work (such as compaction operations), if desired.

The contractor should remove ponded surface water and prevent run-off from reaching excavations and areas of prepared subgrade. We recommend the contractor establish positive surface drainage at the onset of construction to reduce the potential for subgrade disturbance and to facilitate access to the site with rubber-tire construction equipment and delivery vehicles.

The need for moisture conditioning (i.e., aerating and drying) existing soils, and the success of moisture conditioning, will depend on the weather conditions at the time of construction. The contractor should exercise care to seal the surface at the end of each day and when precipitation is predicted, to reduce water penetration into the soil and to minimize subgrade disturbance. During cold and wet periods of the year, the subgrade soils may become saturated and disturbed and it may not be feasible to sufficiently dry the soils so that they are stable and can be adequately compacted. If these conditions occur, it will be necessary for the contractor to import greater quantities of granular fill (sand) to use as engineered fill on the site, and it would be necessary to export the existing wet soils if on-site disposal in non-structural areas is not feasible. The potential effects of soil moisture conditions during the anticipated construction season should be considered when developing the project earthwork budget and schedule.

The contractor must provide a safely sloped excavation or an adequately constructed and braced shoring system in accordance with federal, state, and local safety regulations for individuals working in an excavation that may expose them to the danger of moving ground. If material is stored or heavy equipment is operated near an excavation, appropriate shoring must be used to resist the extra pressure due to the superimposed loads.

Handling, transportation, and disposal of excavated materials and groundwater should be performed in accordance with applicable regulations.

4.4 PAVEMENT DESIGN RECOMMENDATIONS

This section of the report includes a summary of the anticipated traffic loading, existing subsurface conditions, and recommendations for design and construction of the proposed asphalt pavement roadways described in Section 1.1. Based on information provided by the City, we have prepared these recommendations based on the assumption that the new pavement surface will generally follow existing grades.

Our recommendations were developed with special consideration for the poor and very poor pavement subgrade support conditions across the site, poorly drained natural soils, and heavy vehicle traffic loading anticipated during initial construction of the development. We believe a subbase consisting of a minimum of 12 inches of MDOT Class II material should be included in the pavement section. This will require additional cutting of the grade to remove the poor soils and replace with the subbase. The underdrains will be needed to facilitate drainage of the subbase. We believe this subbase layer will improve the overall pavement performance, reduce the risk of premature pavement distress, and mitigate undercuts and the time for subgrade manipulation.

4.4.1 TRAFFIC

We understand school buses, automobiles, light-duty passenger trucks, occasional delivery trucks and garbage/recycling haulers will traffic the site. Based on the proposed number of lots in the development in conjunction with traffic loading information provided by the City, we anticipate approximately two school busses per school day (assuming a 200-day school year), five garbage/recycling haulers per week, and about two medium-duty delivery or service vehicles per day will traffic the site. Based on the stated traffic, we anticipate less than 75,000 Equivalent Single Axle Loads (ESALs) will occur over a 20-year design life (i.e. AASHTO Low Volume Roadway). If the estimated future traffic for the site exceeds this assumption, SME should be asked to revise the recommendations accordingly.

In our experience, heavy vehicle traffic associated with construction of the roadways, utilities, and homes within the development involves heavier pavement loading than the anticipated traffic loading during the service life of the pavements. For design purposes, we anticipate approximately 90,000 additional ESALs will occur due to construction traffic.

4.4.2 PAVEMENT SUBGRADE SUPPORT

After clearing and stripping the surface topsoil, the exposed subgrade in the pavement area is expected to consist of stiff to hard natural clays or loose clayey sand. The DCP tests indicated poor to very poor subgrade support extending below the topsoil to the explored depths of the tests at borings B1 and B6, and to depths of about 21 to 32 inches at the remaining boring locations. Refer to the attached boring logs and USACE DCP Data Sheets for a more specific description of the subsurface conditions at the site. Based on the poor to very poor subgrade support conditions indicated by the DCP testing, we estimated a subgrade resilient modulus of 2,500 psi for use in design.

4.4.3 PAVEMENT SUBGRADE PREPARATION

As noted above, based on the soil conditions indicated in the borings, we anticipate difficulty preparing the exposed subgrade during construction due to the high moisture contents and poor to very poor support indicated in the upper clays and clayey sands. The clayey soils are particularly problematic in that they are sensitive to moisture, become unstable under repeated loading, and are susceptible to frost heave action under pavements. Based on our experience with these types of soils, we expect it is unlikely that the exposed subgrade will support heavy, rubber-tired earth moving equipment without extensive pumping and rutting, and other subgrade disturbance.

We recommend cutting the grade to allow for installation of a new sand subbase, new aggregate base and new pavement layers.

In order to improve the subgrade conditions prior to construction of the proposed pavement layers, we recommend implementing the following subgrade preparation techniques:

- The proposed pavement areas should be cleared and grubbed by removing surface vegetation, topsoil, debris, unsuitable fill, and other deleterious materials to the depth required for the installation of the proposed pavement section and expose suitable subgrade soils. Cuts should be made to allow for the placement of the proposed pavement section. Tree roots and root mats should be completely removed. Subgrade preparation and new subbase and aggregate base layers should each extend laterally at least 12 inches beyond the edge of the next (following) fill layer or the back of curb to provide support for the outer edges the following layer.
- The exposed subgrade should be proofrolled in the presence of an SME representative. The purpose of proofrolling is to identify areas of overly soft or loose subgrade requiring stabilization or modification to support fill and/or pavement layers. Proofrolling should be performed with a fully-loaded, tandem-axle dump truck or other pneumatic-tire construction equipment. The criteria used for evaluating the subgrade will vary based on the soils encountered and proximity to the

final subgrade elevation. Overly soft or loose areas that cannot be mechanically stabilized shall be removed and replaced with engineered fill or chemically stabilized, as recommended by the site geotechnical engineer (SME) based on the existing field conditions.

- The final subgrade elevation should be proofrolled using a fully-loaded, tandem-axle truck. The criteria for the final proofroll should be a maximum of ½-inch of deflection or rutting. Any soft areas should be improved by additional compaction and chemical stabilization, or improved by other means as dictated by the site at the time of construction, which could include undercutting and replacement.

The need for discing and drying should be anticipated by the contractor in order to prepare a firm crust in fill areas, and to improve and prepare the final subgrade level in cut areas. The contractor selected should have the appropriate equipment (i.e. aeration equipment, such as a clay discs/tills and sheepsfoot rollers) and be prepared to allocate time in the construction schedule for discing, aeration, and compaction of the clayey/silty subgrade.

- The final pavement subgrade should be graded to provide proper flow of water out of the pavement system. We recommend the subgrade be sloped similarly to the proposed pavement surface.
- After the pavement subgrade levels have been established across the site, a subbase consisting of a minimum of 12 inches of MDOT Class II material should be installed and followed by the design aggregate base section. The asphalt pavement layers should be placed soon thereafter. If disturbance occurs to the subbase or aggregate, e.g., rain or freezing weather, excessive construction traffic, long period of time, etc., then the base/subbase should be re-evaluated prior to the placement of the next layer.

Consideration should be given to chemically stabilizing the exposed subgrade prior to placement of the subbase as we anticipate the soils will be difficult to dry and compact and pass a proofroll. The stabilization could reduce the amount of undercutting. Problematic areas could be cut, the material treated and then replaced back in the cut.

As an option, the sand subbase could be omitted and chemical stabilization could be utilized to improve the subgrade support conditions. This would reduce the amount of undercutting, however, the lack of a uniform drainage blanket may lead to premature pavement distress due to freeze/thaw cycles from perched groundwater in the subgrade.

The stabilized subgrade should be compacted to a minimum of 98 percent of the maximum dry density as determined by the Standard Proctor test.

Chemical stabilization can be used to provide a stable construction platform for placement and support of the proposed pavement layers. The use of chemical stabilization could be particularly effective for subgrade preparation and fill placements planned during mid to late fall. Chemical stabilization, compared to undercutting and replacement, will shorten the time required to perform earthwork activities and should significantly reduce the need to undercut soil exhibiting poor support conditions. Construction during colder and wetter periods of the year will result in the need for additional undercutting or subgrade stabilization techniques over the length of the roadway, resulting in higher earthwork costs.

SME would be pleased to assist in developing a mix design to determine the types and amounts of additives required to achieve the desired results based on the site conditions, as well as assist in developing specifications to be incorporated in the project manual.

4.4.4 RECOMMENDED PAVEMENT SECTION

The pavement design recommendations presented herein are based on our experience with similar applications and AASHTO pavement design methodology. The design pavement section presented herein is anticipated to provide a useful service life of 15 to 20 years if constructed and maintained

properly. Maintenance activities including patching and crack sealing should be performed at periodic intervals to maintain the pavement surface and extend the serviceability. Our recommended flexible pavement section for the new roadways is presented in Table 4.1 below. An alternative section utilizing chemical subgrade stabilization instead of sand subbase is presented in Table 4.2:

TABLE 4.1: RECOMMENDED FLEXIBLE PAVEMENT SECTION

LAYER	MATERIAL	THICKNESS (IN.)
HMA Wearing Course	MDOT 5E1 ⁽¹⁾	1.5
HMA Leveling Course	MDOT 4E1 ⁽¹⁾	3.0 ⁽²⁾
Aggregate Base	MDOT 21AA Crushed Limestone Aggregate	8.0
Sand Subbase	MDOT Class II	12.0

NOTES:

1. As modified in Section 4.4.5 below.
2. The HMA Leveling Course layer thickness should be increased to 3.5 inches and the material changed to MDOT 3E3 if the layer is to be used as a construction platform.

TABLE 4.2: RECOMMENDED FLEXIBLE PAVEMENT SECTION

LAYER	MATERIAL	THICKNESS (IN.)
HMA Wearing Course	MDOT 5E1 ⁽¹⁾	1.5
HMA Leveling Course	MDOT 4E1 ⁽¹⁾	3.0 ⁽²⁾
Aggregate Base	MDOT 21AA Crushed Limestone Aggregate	8.0
Stabilized Subgrade	Chemical Stabilization	12.0

NOTES:

1. As modified in Section 4.4.5 below.
2. The HMA Leveling Course layer thickness should be increased to 3.5 inches and the material changed to MDOT 3E3 if the layer is to be used as a construction platform.

4.4.5 ASPHALT MATERIAL RECOMMENDATIONS

We recommend following the MDOT 2012 Standard Specifications for Construction as related to the proposed pavement construction except as modified herein. The final asphalt cement grade should be PG 64-28. The amount of Reclaimed Asphalt Pavement (RAP) should be limited to MDOT Tier 1 (0 to 17 percent RAP binder by weight) for the wearing course mixture and MDOT Tier 2 (18 to 27 percent RAP binder by weight) for the leveling course mixture.

The HMA mixture should be designed for target air voids of 3.0 percent and should be compacted to between 94 to 97 percent of the theoretical maximum density as determined per ASTM D2041. We recommend a bond coat of SS-1h emulsion be required between HMA layers at a rate of 0.1 gallons/sy. If a significant time elapses between placements of subsequent pavement layers, the existing pavement surface should be evaluated, and the surface should be suitably cleaned to remove dust and debris prior to placing the bond coat.

The leveling course is not designed to carry heavy construction traffic without damage occurring. Partial construction of these design sections and use of the leveling course as a construction platform, will likely result in premature damage that would require repair prior to placing the wearing course. If construction traffic is anticipated on the partial pavement structure, the initial lift thickness should be increased (refer to Tables 4.1 and 4.2 for recommendation) and placement of the final lift could be delayed until the majority of the construction activities have been completed. The leveling course should be reviewed, and any areas of localized failure should be repaired prior to installation of the wearing course.

4.4.6 AGGREGATE BASE MATERIAL CONSIDERATIONS

The aggregate base should be compacted to a minimum of 95 percent of the maximum dry density determined in accordance with ASTM D1557. We recommended extending the aggregate base layer a minimum of 1-foot beyond the edge of pavement or back of curb to provide edge support.

4.4.7 PAVEMENT DRAINAGE CONSIDERATIONS

The pavement system must be properly drained to reduce the potential of frost heaving and softening of the subgrade due to water infiltrating through cracks. The infiltrated water, if not properly drained, is expected to adversely affect the pavement performance, particularly at this site where the upper clays and clayey sands are considered frost susceptible. We recommend that the roadways be constructed using a crowned section and curb inlets. We recommend the pavement surface in roadway areas be sloped at a minimum of transverse slope of 2 percent and longitudinal surface slope of 1 percent.

We recommend extending the drains a minimum of 50-feet installed in a minimum of two directions at curb inlets. Catch basins should have minimum 25-foot long sections of underdrain installed in four directions to provide subsurface drainage. Cutoff drains should be installed where adjacent ground slopes toward the pavement. The drains should be connected to proposed drainage structures. The drain trenches should be excavated to a minimum depth of 18 inches below the bottom of the aggregate base and should be at least 12-inches wide. The drains should consist of a minimum 6-inch-diameter, perforated, corrugated polyethylene drain pipe. The entire trench should be wrapped in a non-woven geotextile fabric and backfilled with aggregate meeting MDOT 34R gradational requirements (pea gravel). The fabric should be overlapped on top. The trench should be backfilled to the proposed bottom elevation of the aggregate base. SME can make recommendations for underdrain placement once a final site grading plan is developed.

APPENDIX A

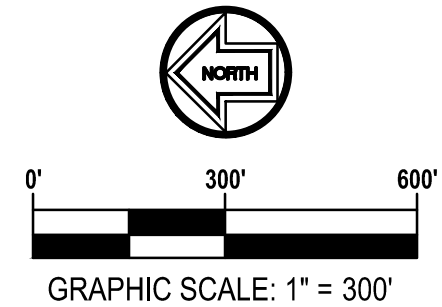
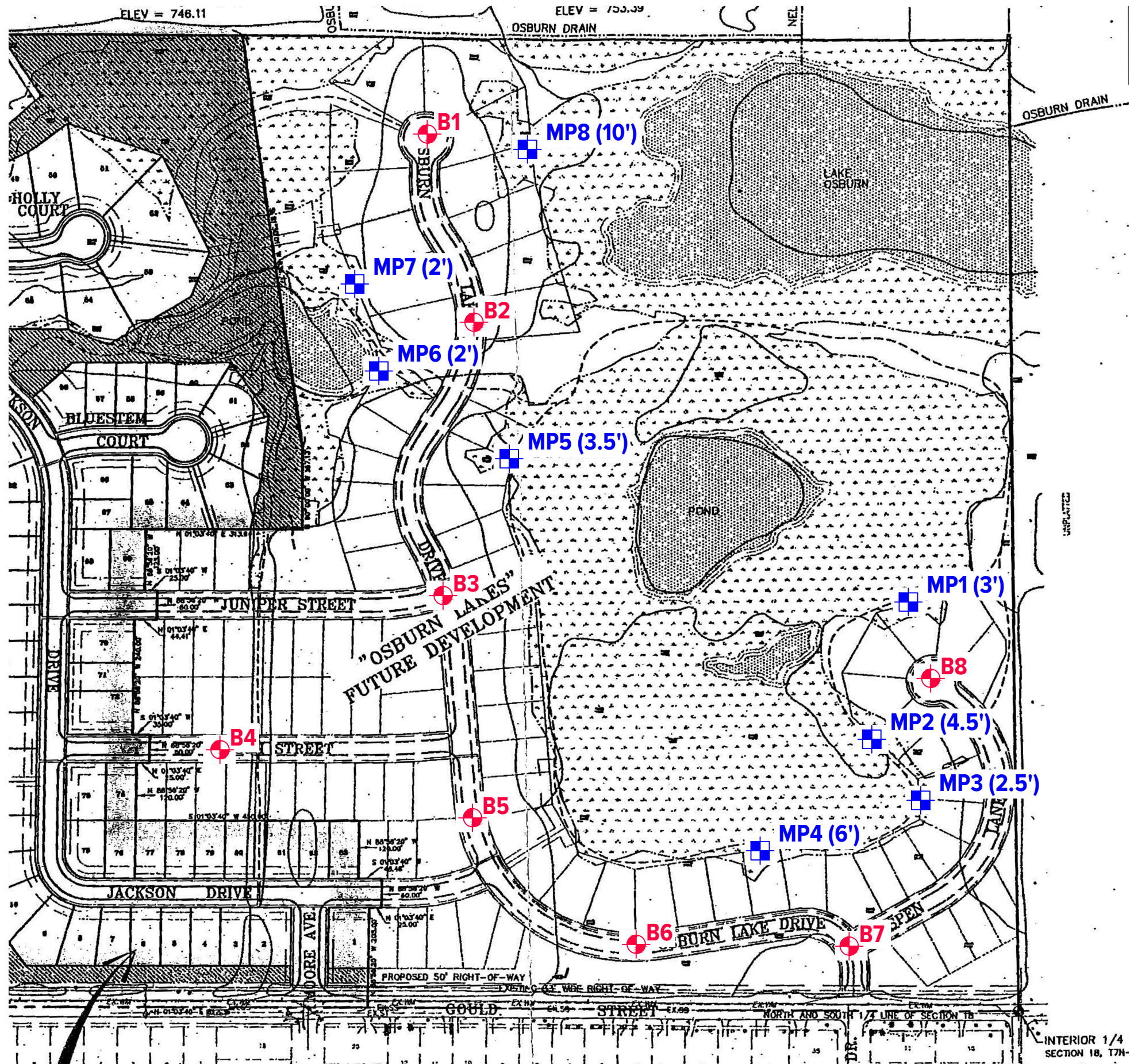
BORING LOCATION DIAGRAM (FIGURE NO. 1)

BORING LOG TERMINOLOGY

BORING LOGS (B1 THROUGH B8)

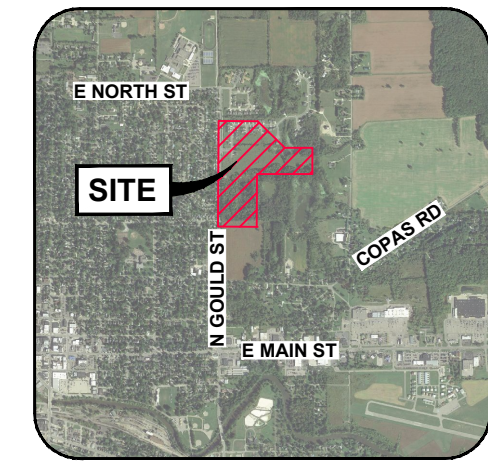
USACE DCP DATA SHEETS (B1 THROUGH B8)

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PLOT DATE: Nov 16, 2018 - 1:51pm - rios



LEGEND

- APPROXIMATE BORING LOCATION
- APPROXIMATE MUCK PROBE LOCATION (DEPTH BELOW EXISTING GROUND SURFACE TO FIRM BOTTOM)



LOCATION MAP
NOT TO SCALE



NOTE:
DRAWING INFORMATION TAKEN FROM A PDF FILE OF A DRAWING TITLED "DEVELOPMENT PLAN FOR OSBURN LAKES", LATEST REVISION DATED OF JUNE 03, 2003 AND PREPARED BY GOULD ENGINEERING INC. PROJECT NO. 796.



www.sme-usa.com

Project

OSBURN LAKES RESIDENTIAL DEVELOPMENT PHASE II

Project Location

**N GOULD STREET,
OWOSSO,
MICHIGAN**

Sheet Name
















BORING LOCATION DIAGRAM













No.	Revision Date

Date	11/16/2018
CADD	JGR
Designer	ZM
Scale	1" = 300'
Project	080282.00
Figure No.	1

DRAWING NOTE: SCALE DEPICTED IS MEANT FOR 11" X 17" AND WILL SCALE INCORRECTLY IF PRINTED ON ANY OTHER SIZE MEDIA
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR CONSENT OF SME
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BORING LOG TERMINOLOGY

UNIFIED SOIL CLASSIFICATION AND SYMBOL CHART			
COARSE-GRAINED SOIL (more than 50% of material is larger than No. 200 sieve size.)			
Clean Gravel (Less than 5% fines)			
GRAVEL More than 50% of coarse fraction larger than No. 4 sieve size		GW	Well-graded gravel; gravel-sand mixtures, little or no fines
		GP	Poorly-graded gravel; gravel-sand mixtures, little or no fines
Gravel with fines (More than 12% fines)			
		GM	Silty gravel; gravel-sand-silt mixtures
		GC	Clayey gravel; gravel-sand-clay mixtures
Clean Sand (Less than 5% fines)			
SAND 50% or more of coarse fraction smaller than No. 4 sieve size		SW	Well-graded sand; sand-gravel mixtures, little or no fines
		SP	Poorly graded sand; sand-gravel mixtures, little or no fines
Sand with fines (More than 12% fines)			
		SM	Silty sand; sand-silt-gravel mixtures
		SC	Clayey sand; sand-clay-gravel mixtures
FINE-GRAINED SOIL (50% or more of material is smaller than No. 200 sieve size)			
SILT AND CLAY Liquid limit less than 50%		ML	Inorganic silt; sandy silt or gravelly silt with slight plasticity
		CL	Inorganic clay of low plasticity; lean clay, sandy clay, gravelly clay
		OL	Organic silt and organic clay of low plasticity
SILT AND CLAY Liquid limit 50% or greater		MH	Inorganic silt of high plasticity, elastic silt
		CH	Inorganic clay of high plasticity, fat clay
		OH	Organic silt and organic clay of high plasticity
HIGHLY ORGANIC SOIL		PT	Peat and other highly organic soil

OTHER MATERIAL SYMBOLS			
	Topsoil		Void
	Sandstone		Asphalt
	Glacial Till		Siltstone
	Base		Coal
	Limestone		Concrete
	Shale		Fill

LABORATORY CLASSIFICATION CRITERIA	
GW	$C_u = \frac{D_{60}}{D_{10}}$ greater than 4; $C_c = \frac{D_{30}^2}{D_{10} \times D_{60}}$ between 1 and 3
GP	Not meeting all gradation requirements for GW
GM	Atterberg limits below "A" line or PI less than 4
GC	Atterberg limits above "A" line with PI greater than 7
SW	$C_u = \frac{D_{60}}{D_{10}}$ greater than 6; $C_c = \frac{D_{30}^2}{D_{10} \times D_{60}}$ between 1 and 3
SP	Not meeting all gradation requirements for SW
SM	Atterberg limits below "A" line or PI less than 4
SC	Atterberg limits above "A" line with PI greater than 7

Determine percentages of sand and gravel from grain-size curve. Depending on percentage of fines (fraction smaller than No. 200 sieve size), coarse-grained soils are classified as follows:

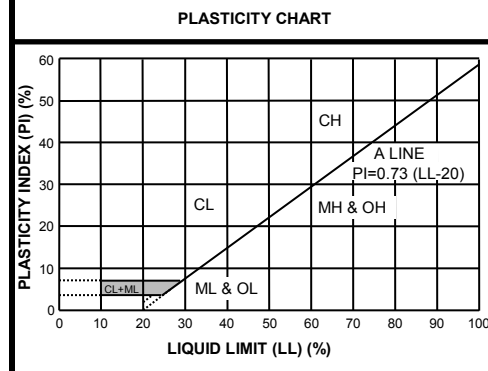
Less than 5 percent.....GW, GP, SW, SP
More than 12 percent.....GM, GC, SM, SC
5 to 12 percent.....Cases requiring dual symbols

- SP-SM or SW-SM (SAND with Silt or SAND with Silt and Gravel)
- SP-SC or SW-SC (SAND with Clay or SAND with Clay and Gravel)
- GP-GM or GW-GM (GRAVEL with Silt or GRAVEL with Silt and Sand)
- GP-GC or GW-GC (GRAVEL with Clay or GRAVEL with Clay and Sand)

If the fines are CL-ML:

- SC-SM (SILTY CLAYEY SAND or SILTY CLAYEY SAND with Gravel)
- SM-SC (CLAYEY SILTY SAND or CLAYEY SILTY SAND with Gravel)
- GC-GM (SILTY CLAYEY GRAVEL or SILTY CLAYEY GRAVEL with Sand)
- GM-GC (CLAYEY SILTY GRAVEL or CLAYEY SILTY GRAVEL with Sand)

PARTICLE SIZES	
Boulders	- Greater than 12 inches
Cobbles	- 3 inches to 12 inches
Gravel- Coarse	- 3/4 inches to 3 inches
Gravel- Fine	- No. 4 to 3/4 inches
Sand- Coarse	- No. 10 to No. 4
Sand- Medium	- No. 40 to No. 10
Sand- Fine	- No. 200 to No. 40
Silt and Clay	- Less than (0.0074 mm)



VISUAL MANUAL PROCEDURE	
When laboratory tests are not performed to confirm the classification of soils exhibiting borderline classifications, the two possible classifications would be separated with a slash, as follows:	
For soils where it is difficult to distinguish if it is a coarse or fine-grained soil:	
<ul style="list-style-type: none"> • SC/CL (CLAYEY SAND to Sandy LEAN CLAY) • SM/ML (SILTY SAND to SANDY SILT) • GC/CL (CLAYEY GRAVEL to Gravelly LEAN CLAY) • GM/ML (SILTY GRAVEL to Gravelly SILT) 	
For soils where it is difficult to distinguish if it is sand or gravel, poorly or well-graded sand or gravel; silt or clay; or plastic or non-plastic silt or clay:	
<ul style="list-style-type: none"> • SP/GP or SW/GW (SAND with Gravel to GRAVEL with Sand) • SC/GC (CLAYEY SAND with Gravel to CLAYEY GRAVEL with Sand) • SM/GM (SILTY SAND with Gravel to SILTY GRAVEL with Sand) • SW/SP (SAND or SAND with Gravel) • GP/GW (GRAVEL or GRAVEL with Sand) • SC/SM (CLAYEY to SILTY SAND) • GM/GC (SILTY to CLAYEY GRAVEL) • CL/ML (SILTY CLAY) • ML/CL (CLAYEY SILT) • CH/MH (FAT CLAY to ELASTIC SILT) • CL/CH (LEAN to FAT CLAY) • MH/ML (ELASTIC SILT to SILT) • OL/OH (ORGANIC SILT or ORGANIC CLAY) 	

DRILLING AND SAMPLING ABBREVIATIONS	
2ST	- Shelby Tube - 2" O.D.
3ST	- Shelby Tube - 3" O.D.
AS	- Auger Sample
GS	- Grab Sample
LS	- Liner Sample
NR	- No Recovery
PM	- Pressure Meter
RC	- Rock Core diamond bit. NX size, except where noted
SB	- Split Barrel Sample 1-3/8" I.D., 2" O.D., except where noted
VS	- Vane Shear
WS	- Wash Sample

OTHER ABBREVIATIONS	
WOH	- Weight of Hammer
WOR	- Weight of Rods
SP	- Soil Probe
PID	- Photo Ionization Device
FID	- Flame Ionization Device

DEPOSITIONAL FEATURES	
Parting	- as much as 1/16 inch thick
Seam	- 1/16 inch to 1/2 inch thick
Layer	- 1/2 inch to 12 inches thick
Stratum	- greater than 12 inches thick
Pocket	- deposit of limited lateral extent
Lens	- lenticular deposit
Hardpan/Till	- an unstratified, consolidated or cemented mixture of clay, silt, sand and/or gravel, the size/shape of the constituents vary widely
Lacustrine	- soil deposited by lake water
Mottled	- soil irregularly marked with spots of different colors that vary in number and size
Varved	- alternating partings or seams of silt and/or clay
Occasional	- one or less per foot of thickness
Frequent	- more than one per foot of thickness
Interbedded	- strata of soil or beds of rock lying between or alternating with other strata of a different nature

CLASSIFICATION TERMINOLOGY AND CORRELATIONS			
Cohesionless Soils		Cohesive Soils	
Relative Density	N-Value (Blows per foot)	Consistency	Undrained Shear Strength (kips/ft ²)
Very Loose	0 to 4	Very Soft	0 - 2
Loose	4 to 10	Soft	2 - 4
Medium Dense	10 to 30	Medium	4 - 8
Dense	30 to 50	Stiff	8 - 15
Very Dense	50 to 80	Very Stiff	15 - 30
Extremely Dense	Over 80	Hard	> 30
Standard Penetration 'N-Value' = Blows per foot of a 140-pound hammer falling 30 inches on a 2-inch O.D. split barrel sampler, except where noted.		0.25 or less	
		0.25 to 0.50	
		0.50 to 1.0	
		1.0 to 2.0	
		2.0 to 4.0	
		4.0 or greater	

PROJECT NAME: Osburn Lakes Residential Development - Phase II

PROJECT NUMBER: 080282.00

CLIENT: City of Owosso

PROJECT LOCATION: Owosso, Michigan

DATE STARTED: 11/9/18

COMPLETED: 11/9/18

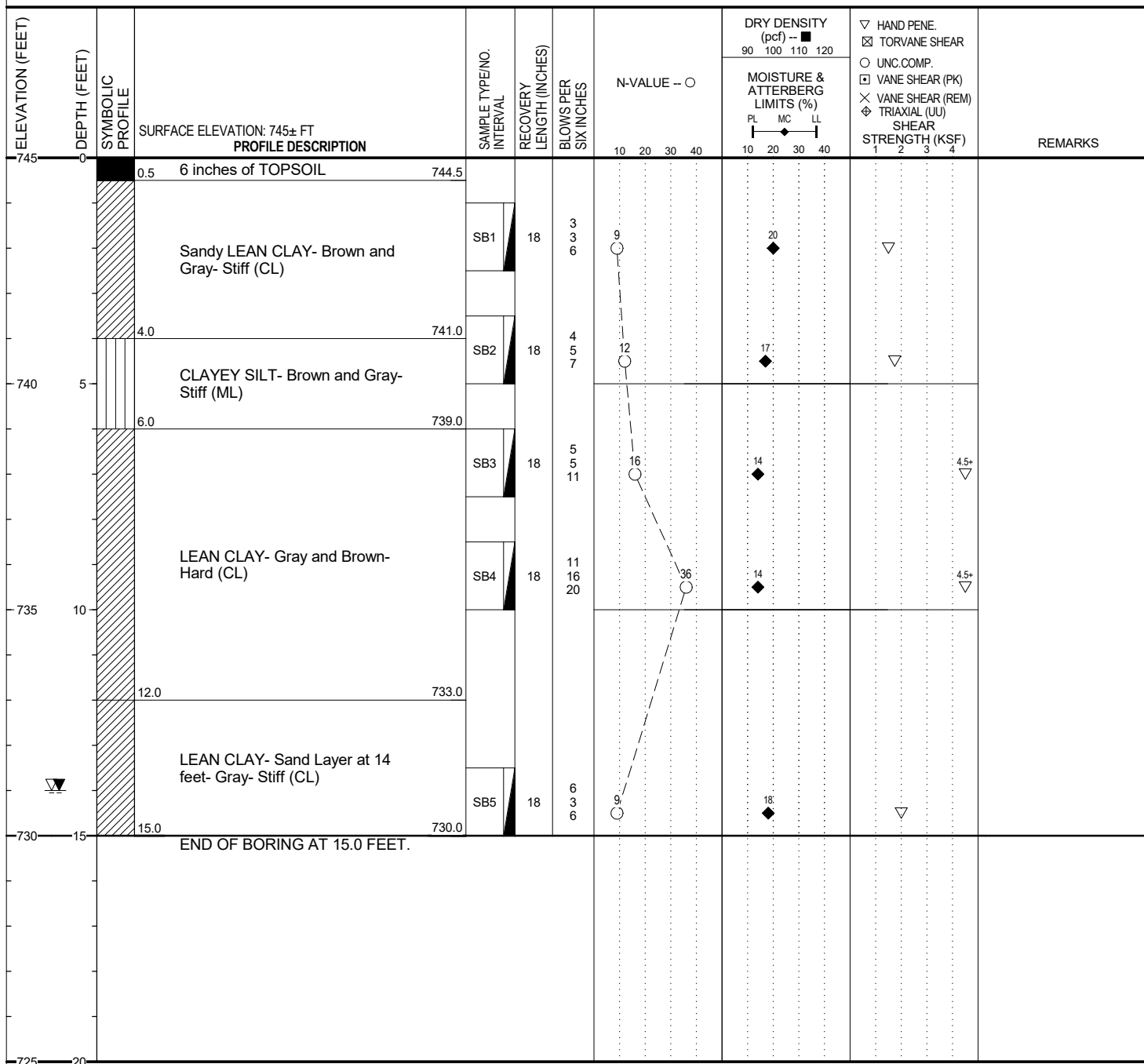
BORING METHOD: Solid-stem Augers

DRILLER: RM/KD


RIG NO.: 531 CME 55 LCX-ATV

LOGGED BY: JAR

CHECKED BY: JSW



GROUNDWATER & BACKFILL INFORMATION

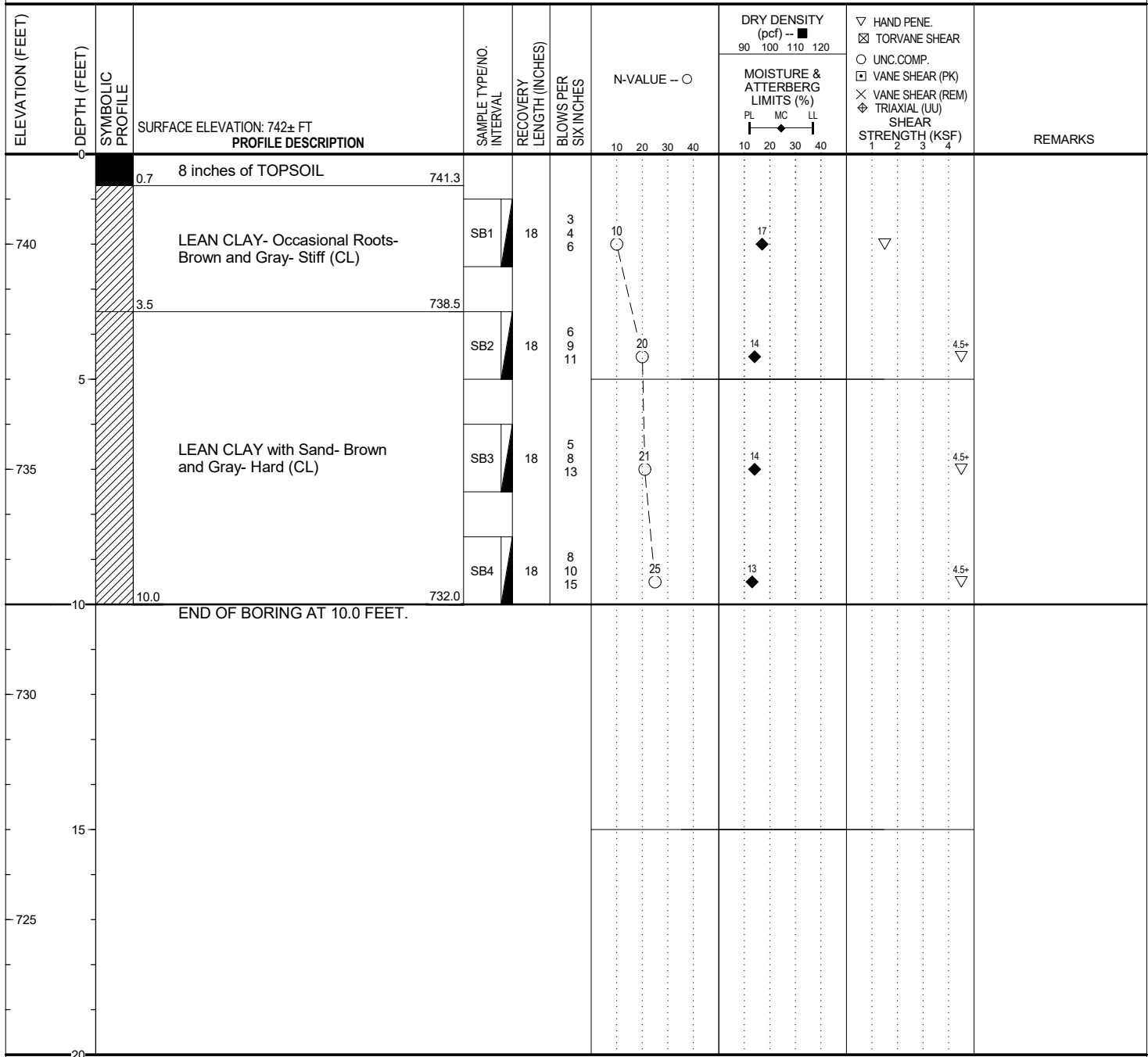
	DEPTH (FT)	ELEV (FT)
DURING BORING:	14.0	731.0
 AT END OF BORING:	14.0	731.0

BACKFILL METHOD: Auger Cuttings

NOTES: 1. The indicated stratification lines are approximate. In situ, the transition between materials may be gradual.

**BORING B2**

PAGE 1 OF 1

PROJECT NAME: Osburn Lakes Residential Development - Phase II**PROJECT NUMBER:** 080282.00**CLIENT:** City of Owosso**PROJECT LOCATION:** Owosso, Michigan**DATE STARTED:** 11/9/18**COMPLETED:** 11/9/18**BORING METHOD:** Solid-stem Augers**DRILLER:** RM/KD**RIG NO.:** 531 CME 55 LCX-ATV**LOGGED BY:** JAR**CHECKED BY:** JSW**GROUNDWATER & BACKFILL INFORMATION**

GROUNDWATER WAS NOT ENCOUNTERED

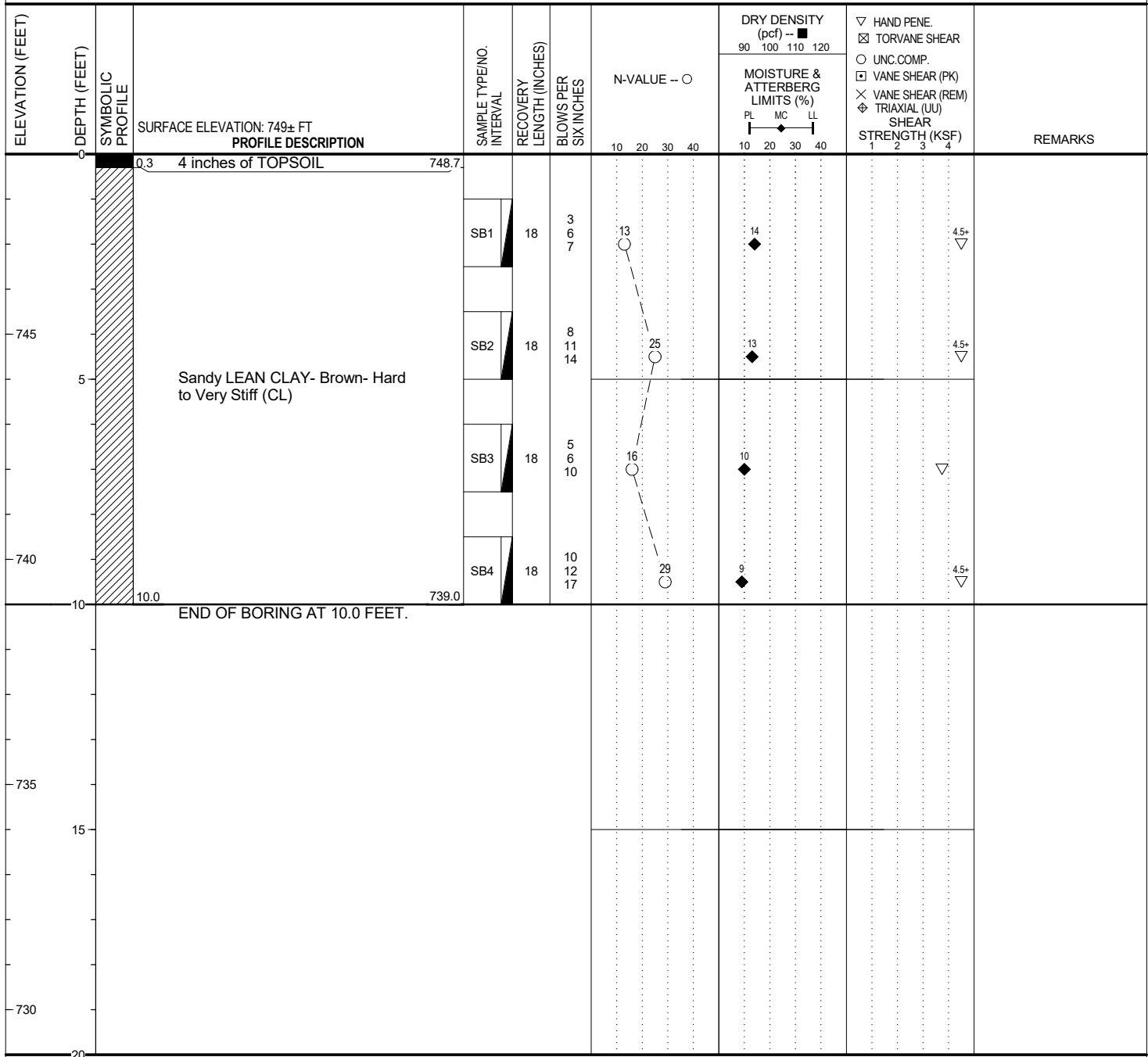
BACKFILL METHOD: Auger Cuttings

NOTES: 1. The indicated stratification lines are approximate. In situ, the transition between materials may be gradual.

NOTES: 1. The indicated stratification lines are approximate. In situ, the transition between materials may be gradual.

**BORING B4**

PAGE 1 OF 1

PROJECT NAME: Osburn Lakes Residential Development - Phase II**PROJECT NUMBER:** 080282.00**CLIENT:** City of Owosso**PROJECT LOCATION:** Owosso, Michigan**DATE STARTED:** 11/9/18**COMPLETED:** 11/9/18**BORING METHOD:** Solid-stem Augers**DRILLER:** RM/KD**RIG NO.:** 531 CME 55 LCX-ATV**LOGGED BY:** JAR**CHECKED BY:** JSW**GROUNDWATER & BACKFILL INFORMATION**

GROUNDWATER WAS NOT ENCOUNTERED

BACKFILL METHOD: Auger Cuttings

NOTES: 1. The indicated stratification lines are approximate. In situ, the transition between materials may be gradual.

PROJECT NAME: Osburn Lakes Residential Development - Phase II

PROJECT NUMBER: 080282.00

CLIENT: City of Owosso

PROJECT LOCATION: Owosso, Michigan

DATE STARTED: 11/9/18

COMPLETED: 11/9/18

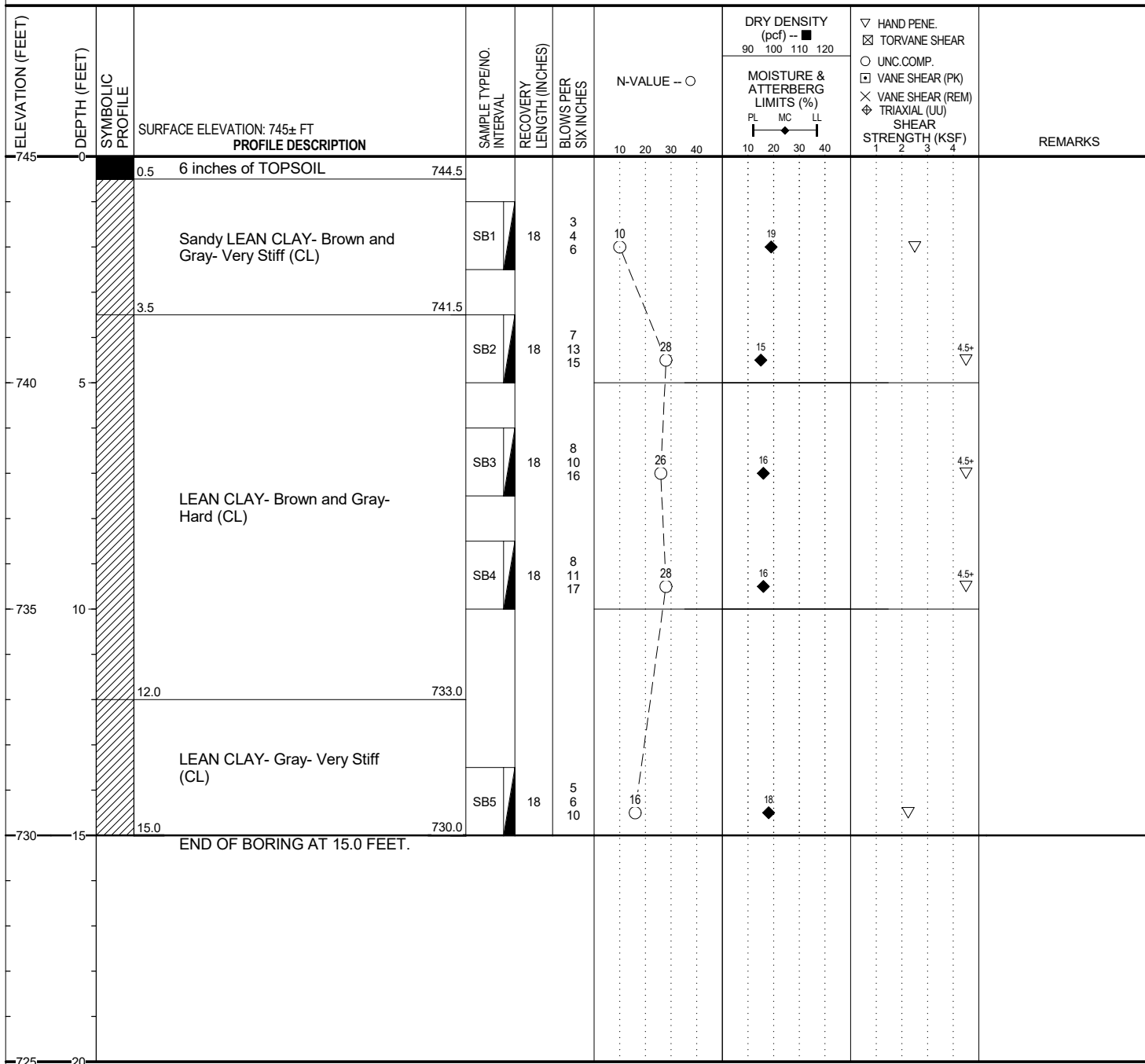
BORING METHOD: Solid-stem Augers

DRILLER: RM/KD

RIG NO.: 531 CME 55 LCX-ATV

LOGGED BY: JAR

CHECKED BY: JSW



GROUNDWATER & BACKFILL INFORMATION

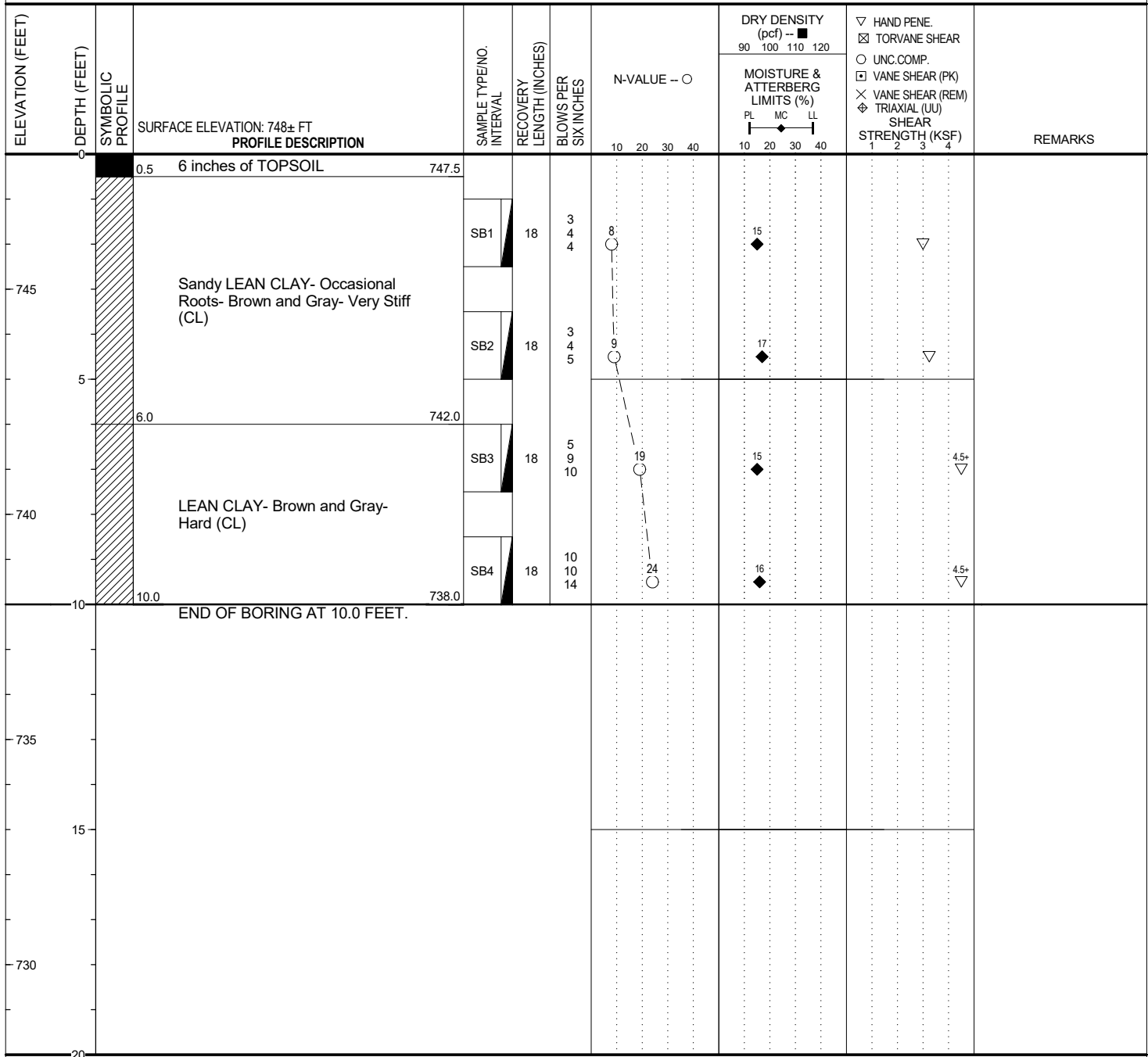
GROUNDWATER WAS NOT ENCOUNTERED

BACKFILL METHOD: Auger Cuttings

NOTES: 1. The indicated stratification lines are approximate. In situ, the transition between materials may be gradual.

**BORING B6**

PAGE 1 OF 1

PROJECT NAME: Osburn Lakes Residential Development - Phase II**PROJECT NUMBER:** 080282.00**CLIENT:** City of Owosso**PROJECT LOCATION:** Owosso, Michigan**DATE STARTED:** 11/9/18**COMPLETED:** 11/9/18**BORING METHOD:** Solid-stem Augers**DRILLER:** RM/KD**RIG NO.:** 531 CME 55 LCX-ATV**LOGGED BY:** JAR**CHECKED BY:** JSW**GROUNDWATER & BACKFILL INFORMATION**

GROUNDWATER WAS NOT ENCOUNTERED

BACKFILL METHOD: Auger Cuttings

NOTES: 1. The indicated stratification lines are approximate. In situ, the transition between materials may be gradual.

PROJECT NAME: Osburn Lakes Residential Development - Phase II

PROJECT NUMBER: 080282.00

CLIENT: City of Owosso

PROJECT LOCATION: Owosso, Michigan

DATE STARTED: 11/9/18

COMPLETED: 11/9/18

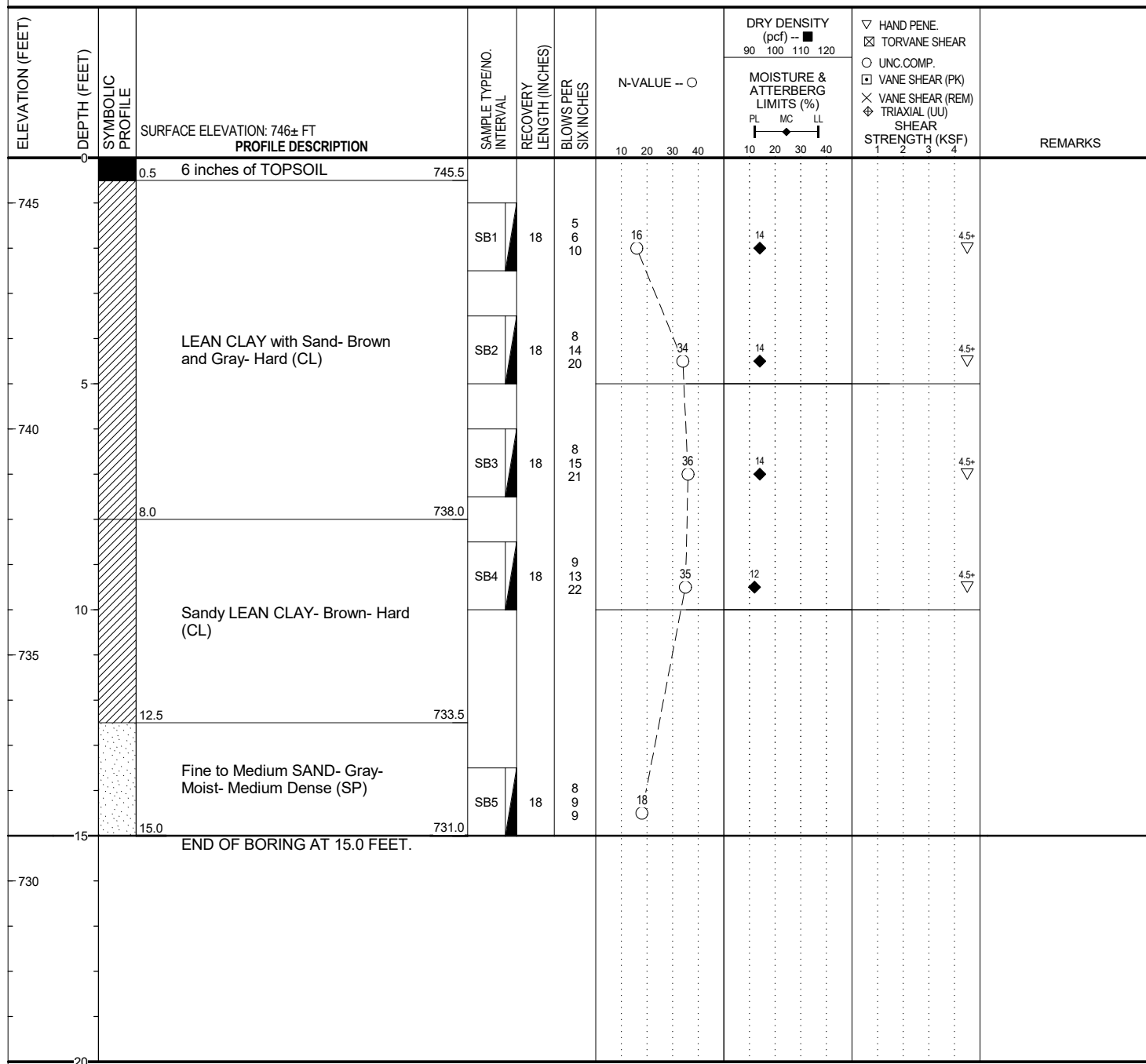
BORING METHOD: Solid-stem Augers

DRILLER: RM/KD

RIG NO.: 531 CME 55 LCX-ATV

LOGGED BY: JAR

CHECKED BY: JSW



GROUNDWATER & BACKFILL INFORMATION

GROUNDWATER WAS NOT ENCOUNTERED

BACKFILL METHOD: Auger Cuttings

NOTES: 1. The indicated stratification lines are approximate. In situ, the transition between materials may be gradual.

APPENDIX B

IMPORTANT INFORMATION ABOUT THIS GEOTECHNICAL ENGINEERING REPORT

GENERAL COMMENTS

LABORATORY TESTING PROCEDURES

Important Information about This Geotechnical-Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

While you cannot eliminate all such risks, you can manage them. The following information is provided to help.

The Geoprofessional Business Association (GBA) has prepared this advisory to help you – assumedly a client representative – interpret and apply this geotechnical-engineering report as effectively as possible. In that way, clients can benefit from a lowered exposure to the subsurface problems that, for decades, have been a principal cause of construction delays, cost overruns, claims, and disputes. If you have questions or want more information about any of the issues discussed below, contact your GBA-member geotechnical engineer. Active involvement in the Geoprofessional Business Association exposes geotechnical engineers to a wide array of risk-confrontation techniques that can be of genuine benefit for everyone involved with a construction project.

Geotechnical-Engineering Services Are Performed for Specific Purposes, Persons, and Projects

Geotechnical engineers structure their services to meet the specific needs of their clients. A geotechnical-engineering study conducted for a given civil engineer will not likely meet the needs of a civil-works constructor or even a different civil engineer. Because each geotechnical-engineering study is unique, each geotechnical-engineering report is unique, prepared *solely* for the client. *Those who rely on a geotechnical-engineering report prepared for a different client can be seriously misled.* No one except authorized client representatives should rely on this geotechnical-engineering report without first conferring with the geotechnical engineer who prepared it. *And no one – not even you – should apply this report for any purpose or project except the one originally contemplated.*

Read this Report in Full

Costly problems have occurred because those relying on a geotechnical-engineering report did not read it *in its entirety*. Do not rely on an executive summary. Do not read selected elements only. *Read this report in full.*

You Need to Inform Your Geotechnical Engineer about Change

Your geotechnical engineer considered unique, project-specific factors when designing the study behind this report and developing the confirmation-dependent recommendations the report conveys. A few typical factors include:

- the client's goals, objectives, budget, schedule, and risk-management preferences;
- the general nature of the structure involved, its size, configuration, and performance criteria;
- the structure's location and orientation on the site; and
- other planned or existing site improvements, such as retaining walls, access roads, parking lots, and underground utilities.

Typical changes that could erode the reliability of this report include those that affect:

- the site's size or shape;
- the function of the proposed structure, as when it's changed from a parking garage to an office building, or from a light-industrial plant to a refrigerated warehouse;
- the elevation, configuration, location, orientation, or weight of the proposed structure;
- the composition of the design team; or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project changes – even minor ones – and request an assessment of their impact. *The geotechnical engineer who prepared this report cannot accept responsibility or liability for problems that arise because the geotechnical engineer was not informed about developments the engineer otherwise would have considered.*

This Report May Not Be Reliable

Do not rely on this report if your geotechnical engineer prepared it:

- for a different client;
- for a different project;
- for a different site (that may or may not include all or a portion of the original site); or
- before important events occurred at the site or adjacent to it; e.g., man-made events like construction or environmental remediation, or natural events like floods, droughts, earthquakes, or groundwater fluctuations.

Note, too, that it could be unwise to rely on a geotechnical-engineering report whose reliability may have been affected by the passage of time, because of factors like changed subsurface conditions; new or modified codes, standards, or regulations; or new techniques or tools. *If your geotechnical engineer has not indicated an "apply-by" date on the report, ask what it should be, and, in general, if you are the least bit uncertain about the continued reliability of this report, contact your geotechnical engineer before applying it.* A minor amount of additional testing or analysis – if any is required at all – could prevent major problems.

Most of the "Findings" Related in This Report Are Professional Opinions

Before construction begins, geotechnical engineers explore a site's subsurface through various sampling and testing procedures. *Geotechnical engineers can observe actual subsurface conditions only at those specific locations where sampling and testing were performed.* The data derived from that sampling and testing were reviewed by your geotechnical engineer, who then applied professional judgment to form opinions about subsurface conditions throughout the site. Actual sitewide-subsurface conditions may differ – maybe significantly – from those indicated in this report. Confront that risk by retaining your geotechnical engineer to serve on the design team from project start to project finish, so the individual can provide informed guidance quickly, whenever needed.

This Report's Recommendations Are Confirmation-Dependent

The recommendations included in this report – including any options or alternatives – are confirmation-dependent. In other words, *they are not final*, because the geotechnical engineer who developed them relied heavily on judgment and opinion to do so. Your geotechnical engineer can finalize the recommendations *only after observing actual subsurface conditions* revealed during construction. If through observation your geotechnical engineer confirms that the conditions assumed to exist actually do exist, the recommendations can be relied upon, assuming no other changes have occurred. *The geotechnical engineer who prepared this report cannot assume responsibility or liability for confirmation-dependent recommendations if you fail to retain that engineer to perform construction observation.*

This Report Could Be Misinterpreted

Other design professionals' misinterpretation of geotechnical-engineering reports has resulted in costly problems. Confront that risk by having your geotechnical engineer serve as a full-time member of the design team, to:

- confer with other design-team members,
- help develop specifications,
- review pertinent elements of other design professionals' plans and specifications, and
- be on hand quickly whenever geotechnical-engineering guidance is needed.

You should also confront the risk of constructors misinterpreting this report. Do so by retaining your geotechnical engineer to participate in prebid and preconstruction conferences and to perform construction observation.

Give Constructors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can shift unanticipated-subsurface-conditions liability to constructors by limiting the information they provide for bid preparation. To help prevent the costly, contentious problems this practice has caused, include the complete geotechnical-engineering report, along with any attachments or appendices, with your contract documents, *but be certain to note conspicuously that you've included the material for informational purposes only*. To avoid misunderstanding, you may also want to note that "informational purposes" means constructors have no right to rely on the interpretations, opinions, conclusions, or recommendations in the report, but they may rely on the factual data relative to the specific times, locations, and depths/elevations referenced. Be certain that constructors know they may learn about specific project requirements, including options selected from the report, *only* from the design drawings and specifications. Remind constructors that they may

perform their own studies if they want to, and *be sure to allow enough time* to permit them to do so. Only then might you be in a position to give constructors the information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions. Conducting prebid and preconstruction conferences can also be valuable in this respect.

Read Responsibility Provisions Closely

Some client representatives, design professionals, and constructors do not realize that geotechnical engineering is far less exact than other engineering disciplines. That lack of understanding has nurtured unrealistic expectations that have resulted in disappointments, delays, cost overruns, claims, and disputes. To confront that risk, geotechnical engineers commonly include explanatory provisions in their reports. Sometimes labeled "limitations," many of these provisions indicate where geotechnical engineers' responsibilities begin and end, to help others recognize their own responsibilities and risks. *Read these provisions closely*. Ask questions. Your geotechnical engineer should respond fully and frankly.

Geoenvironmental Concerns Are Not Covered

The personnel, equipment, and techniques used to perform an environmental study – e.g., a "phase-one" or "phase-two" environmental site assessment – differ significantly from those used to perform a geotechnical-engineering study. For that reason, a geotechnical-engineering report does not usually relate any environmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated subsurface environmental problems have led to project failures*. If you have not yet obtained your own environmental information, ask your geotechnical consultant for risk-management guidance. As a general rule, *do not rely on an environmental report prepared for a different client, site, or project, or that is more than six months old*.

Obtain Professional Assistance to Deal with Moisture Infiltration and Mold

While your geotechnical engineer may have addressed groundwater, water infiltration, or similar issues in this report, none of the engineer's services were designed, conducted, or intended to prevent uncontrolled migration of moisture – including water vapor – from the soil through building slabs and walls and into the building interior, where it can cause mold growth and material-performance deficiencies. Accordingly, *proper implementation of the geotechnical engineer's recommendations will not of itself be sufficient to prevent moisture infiltration*. Confront the risk of moisture infiltration by including building-envelope or mold specialists on the design team. *Geotechnical engineers are not building-envelope or mold specialists*.



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e-mail: info@geoprofessional.org www.geoprofessional.org

GENERAL COMMENTS

BASIS OF GEOTECHNICAL REPORT

This report has been prepared in accordance with generally accepted geotechnical engineering practices to assist in the design and/or evaluation of this project. If the project plans, design criteria, and other project information referenced in this report and utilized by SME to prepare our recommendations are changed, the conclusions and recommendations contained in this report are not considered valid unless the changes are reviewed, and the conclusions and recommendations of this report are modified or approved in writing by our office.

The discussions and recommendations submitted in this report are based on the available project information, described in this report, and the geotechnical data obtained from the field exploration at the locations indicated in the report. Variations in the soil and groundwater conditions commonly occur between or away from sampling locations. The nature and extent of the variations may not become evident until the time of construction. If significant variations are observed during construction, SME should be contacted to reevaluate the recommendations of this report. SME should be retained to continue our services through construction to observe and evaluate the actual subsurface conditions relative to the recommendations made in this report.

In the process of obtaining and testing samples and preparing this report, procedures are followed that represent reasonable and accepted practice in the field of soil and foundation engineering. Specifically, field logs are prepared during the field exploration that describe field occurrences, sampling locations, and other information. Samples obtained in the field are frequently subjected to additional testing and reclassification in the laboratory and differences may exist between the field logs and the report logs. The engineer preparing the report reviews the field logs, laboratory classifications, and test data and then prepares the report logs. Our recommendations are based on the contents of the report logs and the information contained therein.

REVIEW OF DESIGN DETAILS, PLANS, AND SPECIFICATIONS

SME should be retained to review the design details, project plans, and specifications to verify those documents are consistent with the recommendations contained in this report.

REVIEW OF REPORT INFORMATION WITH PROJECT TEAM

Implementation of our recommendations may affect the design, construction, and performance of the proposed improvements, along with the potential inherent risks involved with the proposed construction. The client and key members of the design team, including SME, should discuss the issues covered in this report so that the issues are understood and applied in a manner consistent with the owner's budget, tolerance of risk, and expectations for performance and maintenance.

FIELD VERIFICATION OF GEOTECHNICAL CONDITIONS

SME should be retained to verify the recommendations of this report are properly implemented during construction. This may avoid misinterpretation of our recommendations by other parties and will allow us to review and modify our recommendations if variations in the site subsurface conditions are encountered.

PROJECT INFORMATION FOR CONTRACTOR

This report and any future addenda or other reports regarding this site should be made available to prospective contractors prior to submitting their proposals for their information only and to supply them with facts relative to the subsurface evaluation and laboratory test results. If the selected contractor encounters subsurface conditions during construction, which differ from those presented in this report, the contractor should promptly describe the nature and extent of the differing conditions in writing and SME should be notified so that we can verify those conditions. The construction contract should include provisions for dealing with differing conditions and contingency funds should be reserved for potential problems during earthwork and foundation construction. We would be pleased to assist you in developing the contract provisions based on our experience.

The contractor should be prepared to handle environmental conditions encountered at this site, which may affect the excavation, removal, or disposal of soil; dewatering of excavations; and health and safety of workers. Any Environmental Assessment reports prepared for this site should be made available for review by bidders and the successful contractor.

THIRD PARTY RELIANCE/REUSE OF THIS REPORT

This report has been prepared solely for the use of our Client for the project specifically described in this report. This report cannot be relied upon by other parties not involved in the project, unless specifically allowed by SME in writing. SME also is not responsible for the interpretation by other parties of the geotechnical data and the recommendations provided herein.

LABORATORY TESTING PROCEDURES

VISUAL ENGINEERING CLASSIFICATION

Visual classification was performed on recovered samples. The appended General Notes and Unified Soil Classification System (USCS) sheets include a brief summary of the general method used visually classify the soil and assign an appropriate USCS group symbol. The estimated group symbol, according to the USCS, is shown in parentheses following the textural description of the various strata on the boring logs appended to this report. The soil descriptions developed from visual classifications are sometimes modified to reflect the results of laboratory testing.

MOISTURE CONTENT

Moisture content tests were performed by weighing samples from the field at their in-situ moisture condition. These samples were then dried at a constant temperature (approximately 110° C) overnight in an oven. After drying, the samples were weighed to determine the dry weight of the sample and the weight of the water that was expelled during drying. The moisture content of the specimen is expressed as a percent and is the weight of the water compared to the dry weight of the specimen.

HAND PENETROMETER TESTS

In the hand penetrometer test, the unconfined compressive strength of a cohesive soil sample is estimated by measuring the resistance of the sample to the penetration of a small calibrated, spring-loaded cylinder. The maximum capacity of the penetrometer is 4.5 tons per square-foot (tsf). Theoretically, the undrained shear strength of the cohesive sample is one-half the unconfined compressive strength. The undrained shear strength (based on the hand penetrometer test) presented on the boring logs is reported in units of kips per square-foot (ksf).

TORVANE SHEAR TESTS

In the Torvane test, the shear strength of a low strength, cohesive soil sample is estimated by measuring the resistance of the sample to a torque applied through vanes inserted into the sample. The undrained shear strength of the samples is measured from the maximum torque required to shear the sample and is reported in units of kips per square-foot (ksf).

LOSS-ON-IGNITION (ORGANIC CONTENT) TESTS

Loss-on-ignition (LOI) tests are conducted by first weighing the sample and then heating the sample to dry the moisture from the sample (in the same manner as determining the moisture content of the soil). The sample is then re-weighed to determine the dry weight and then heated for 4 hours in a muffle furnace at a high temperature (approximately 440° C). After cooling, the sample is re-weighed to calculate the amount of ash remaining, which in turn is used to determine the amount of organic matter burned from the original dry sample. The organic matter content of the specimen is expressed as a percent compared to the dry weight of the sample.

ATTERBERG LIMITS TESTS

Atterberg limits tests consist of two components. The plastic limit of a cohesive sample is determined by rolling the sample into a thread and the plastic limit is the moisture content where a 1/8-inch thread begins to crumble. The liquid limit is determined by placing a 1/2-inch thick soil pat into the liquid limits cup and using a grooving tool to divide the soil pat in half. The cup is then tapped on the base of the liquid limits device using a crank handle. The number of drops of the cup to close the gap formed by the grooving tool 1/2 inch is recorded along with the corresponding moisture content of the sample. This procedure is repeated several times at different moisture contents and a graph of moisture content and the corresponding number of blows is plotted. The liquid limit is defined as the moisture content at a nominal 25 drops of the cup. From this test, the plasticity index can be determined by subtracting the plastic limit from the liquid limit.



*Passionate People Building
and Revitalizing our World*



To: Owosso City Council

From: Building Department

Date: 11/30/2018

Building Department Report NOVEMBER 2018

Category	Estimated Cost	Permit Fee	Number of Permits
APARTMENTS - NEW	<i>\$157,920</i>	<i>\$3,666</i>	<i>1</i>
DEMOLITION	<i>\$12,000</i>	<i>\$180</i>	<i>1</i>
Electrical	<i>\$0</i>	<i>\$1,504</i>	<i>7</i>
FENCE	<i>\$0</i>	<i>\$80</i>	<i>1</i>
Mechanical	<i>\$0</i>	<i>\$4,215</i>	<i>29</i>
Plumbing	<i>\$0</i>	<i>\$410</i>	<i>4</i>
RES. ADD/ALTER/REPAIR	<i>\$6,000</i>	<i>\$290</i>	<i>2</i>
RES. SINGLE FAMILY	<i>\$221,000</i>	<i>\$4,543</i>	<i>1</i>
ROOF	<i>\$39,500</i>	<i>\$620</i>	<i>6</i>
ROW-UTILITY	<i>\$0</i>	<i>\$100</i>	<i>5</i>
SIGN	<i>\$0</i>	<i>\$222</i>	<i>1</i>
Totals	<i>\$436,420</i>	<i>\$15,830</i>	<i>58</i>

2017 COMPARISON TOTALS

NOVEMBER 2017 Totals	\$223,386	\$10,960	81
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BUILDING PERMITS ONLY	-	23
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Enforcements By Category**12/03/18**

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NOVEMBER 2018

ACCESSORY STRUCTURES

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0902	1803 W STEWART ST	COMPLAINT LOGGED	LETTER SENT	11/27/18	01/02/2019		N
ENF 18-0905	601 GLENWOOD AVE	COMPLAINT LOGGED	LETTER SENT	11/27/18	01/02/2019		N
Total Entries:				2			

APPLIANCES

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0904	706 AMENT ST	COMPLAINT LOGGED	LETTER SENT	11/27/18	12/06/2018		N
Total Entries:				1			

AUTO REP/JUNK VEH

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0866	702 GLENWOOD AVE	LETTER SENT	RESOLVED	11/06/18		11/15/18	N
ENF 18-0869	616 ALGER AVE	COMPLAINT LOGGED	RESOLVED	11/07/18		11/14/18	N
ENF 18-0870	313 N HICKORY ST	LETTER SENT	RESOLVED	11/07/18		11/14/18	Y
ENF 18-0880	713 LYNN ST	LETTER SENT	RESOLVED	11/12/18		11/19/18	Y
ENF 18-0885	601 BRADLEY ST	LETTER SENT	RESOLVED	11/14/18		11/27/18	Y
ENF 18-0887	209 N SHIAWASSEE ST	LETTER SENT	RESOLVED	11/15/18		11/27/18	Y
ENF 18-0889	1803 W STEWART ST	COMPLAINT LOGGED	LETTER SENT	11/15/18	12/05/2018		N
ENF 18-0892	668 LINCOLN AVE	COMPLAINT LOGGED	LETTER SENT	11/20/18	12/05/2018		Y
ENF 18-0893	533 GARFIELD AVE	COMPLAINT LOGGED	LETTER SENT	11/20/18	12/05/2018		N
ENF 18-0895	1022 ISHAM ST	COMPLAINT LOGGED	LETTER SENT	11/21/18	12/05/2018		N
ENF 18-0896	1433 HENRY ST	COMPLAINT LOGGED	LETTER SENT	11/21/18	12/05/2018		Y
ENF 18-0900	1108 W MAIN ST	COMPLAINT LOGGED	LETTER SENT	11/27/18	12/11/2018		Y
ENF 18-0910	807 S CEDAR ST	COMPLAINT LOGGED	LETTER SENT	11/28/18	12/10/2018		N

Enforcements By Category**12/03/18**

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NOVEMBER 2018

ENF 18-0917	828 LINGLE AVE	COMPLAINT LOGGED	LETTER SENT	11/29/18	12/10/2018		N
ENF 18-0919	714 ABREY AVE	COMPLAINT LOGGED	LETTER SENT	11/29/18	12/10/2018		N

Total Entries: 15**BUILDING VIOL**

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0882	614 ALGER AVE	COMPLAINT LOGGED	DPW CLEAN-UP	11/13/18		11/14/18	VAC
ENF 18-0922	839 E COMSTOCK ST	COMPLAINT LOGGED	LETTER SENT	11/29/18	01/10/2019		N
				Total Entries:	2		

DEMOLITION

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0871	203 STATE ST	CONTACT WITH OWNER	CONTACT CONTRACTOR	11/07/18	12/11/2018		VAC
				Total Entries:	1		

DUMPSTER VIOLATIONS

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0881	755 BROADWAY AVE	COMPLAINT LOGGED	RESOLVED	11/12/18		11/13/18	VAC
				Total Entries:	1		

FRONT YARD PARKING

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0860	309 E OLIVER ST	LETTER SENT	CLOSED	11/01/18		11/30/18	Y
ENF 18-0865	418 GUTE ST	COMPLAINT LOGGED	RESOLVED	11/06/18		11/14/18	Y
ENF 18-0886	215 S SHIAWASSEE ST	LETTER SENT	RESOLVED	11/15/18		11/28/18	N
ENF 18-0918	750 COVENTRY AVE	COMPLAINT LOGGED	LETTER SENT	11/29/18	12/11/2018		N
ENF 18-0920	815 E COMSTOCK ST	LETTER SENT	COMPLAINT LOGGED	11/29/18			

Enforcements By Category**12/03/18**

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NOVEMBER 2018

Total Entries: 5**FURNITURE OUTSIDE**

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0876	623 N WASHINGTON ST	CONTACT WITH OWNER	CLOSED	11/08/18		11/15/18	Y
ENF 18-0878	1603 HENRY ST	LETTER SENT	RESOLVED	11/09/18		11/21/18	N
ENF 18-0879	1521 HENRY ST	RECHECK	CLOSED	11/09/18		11/21/18	Y
				Total Entries:	3		

GARBAGE & DEBRIS

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0858	624 PINE ST	LETTER SENT	RESOLVED	11/01/18		11/13/18	Y
ENF 18-0864	719 N SAGINAW ST	COMPLAINT LOGGED	RESOLVED	11/05/18		11/08/18	Y
ENF 18-0873	813 DIVISION ST	LETTER SENT	CLOSED	11/08/18		11/15/18	N
ENF 18-0874	1114 S CHIPMAN ST	CONTACT WITH OWNER	EXTENSION GRANTED	11/08/18	12/17/2018		N
ENF 18-0877	990 CORUNNA AVE	CONTACT WITH OWNER	CLOSED	11/08/18		11/29/18	Y
ENF 18-0898	426 E WILLIAMS ST	COMPLAINT LOGGED	LETTER SENT	11/27/18	12/10/2018		Y
ENF 18-0901	1420 W MAIN ST	COMPLAINT LOGGED	LETTER SENT	11/27/18	12/10/2018		Y
ENF 18-0909	631 AMENT ST	COMPLAINT LOGGED	LETTER SENT	11/28/18	12/10/2018		N
ENF 18-0916	514 KEYTE ST	COMPLAINT LOGGED	LETTER SENT	11/29/18	12/10/2018		N
				Total Entries:	9		

HEALTH & SAFETY

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0891	1299 S SHIAWASSEE ST	INSPECTED PROPERTY	CONTACTED PROPERTY OWNER	11/19/18	12/20/2018		Y
				Total Entries:	1		

Enforcements By Category**12/03/18**

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NOVEMBER 2018

MULTIPLE VIOLATIONS

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0857	712 CLINTON ST	COMPLAINT LOGGED	LETTER SENT	11/01/18	12/03/2018		N
ENF 18-0861	608 N HICKORY ST	LETTER SENT	2ND NOTICE SENT	11/01/18	12/13/2018		Y
ENF 18-0863	522 N SAGINAW ST	LETTER SENT	CLOSED	11/05/18		11/27/18	N
ENF 18-0872	526 HARRISON AVE	LETTER SENT	RESOLVED	11/07/18		11/13/18	N
ENF 18-0875	531 HARRISON AVE	CONTACT WITH OWNER	EXTENSION GRANTED	11/08/18	12/17/2018		N
ENF 18-0884	1420 W MAIN ST	COMPLAINT LOGGED	LETTER SENT	11/14/18	12/17/2018		Y
ENF 18-0888	315 E EXCHANGE ST	COMPLAINT LOGGED	LETTER SENT	11/15/18	12/12/2018		N
ENF 18-0894	609 E OLIVER ST	COMPLAINT LOGGED	LETTER SENT	11/20/18	12/06/2018		Y
ENF 18-0897	760 COVENTRY AVE	COMPLAINT LOGGED	RESOLVED	11/21/18		11/29/18	N
ENF 18-0899	1110 W MAIN ST	COMPLAINT LOGGED	LETTER SENT	11/27/18	12/12/2018		Y
ENF 18-0903	717 AMENT ST	COMPLAINT LOGGED	LETTER SENT	11/27/18	12/27/2018		N
ENF 18-0907	825 E EXCHANGE ST	LETTER SENT	CLOSED	11/28/18		12/03/18	Y
Total Entries:				12			

NO BUILDING PERMIT

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0859	619 5TH ST	COMPLAINT LOGGED	RESOLVED	11/01/18		11/05/18	N
ENF 18-0862	221 E KING ST	REF TO BLDG OFFICIAL	CLOSED	11/05/18		11/27/18	N
ENF 18-0914	216 N SAGINAW ST	COMPLAINT LOGGED	LETTER SENT	11/29/18	12/12/2018		Y
Total Entries:				3			

RENTAL UNIT VIOL

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0867	514 S PARK ST	LETTER SENT	RESOLVED	11/06/18		11/26/18	Y

Enforcements By Category**12/03/18**

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NOVEMBER 2018

ENF 18-0883	726 CLINTON ST	COMPLAINT LOGGED	LETTER SENT	11/14/18	12/14/2018	Y
ENF 18-0906	623 FRAZER AVE	COMPLAINT LOGGED	LETTER SENT	11/27/18	12/27/2018	Y

Total Entries: 3**SIDEWALK/SNOW & ICE**

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0911	105 E KING ST	COMPLAINT LOGGED	CLOSED	11/29/18		11/30/18	Y
ENF 18-0912	111 E KING ST	COMPLAINT LOGGED	CLOSED	11/29/18		11/30/18	Y
ENF 18-0913	115 E KING ST	COMPLAINT LOGGED	CLOSED	11/29/18		11/30/18	N

Total Entries: 3**SIGN VIOLATION**

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0921	105 E MAIN ST	CONTACT WITH BUSINESS	CLOSED	11/29/18		11/29/18	Y

Total Entries: 1**TRAILER VIOLATIONS**

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0868	419 CASS ST		COMPLAINT LOGGED	11/06/18			N

Total Entries: 1**VACANT PROPERTY REG**

Enforcement Number	Address	Previous Status	Status	Filed	Next Action Date	Closed	Rental
ENF 18-0923	307 CORUNNA AVE	COMPLAINT LOGGED	LETTER SENT	11/29/18	12/27/2018		VAC

Total Entries: 1**VACANT/SQUATTERS**

Next Action

Enforcements By Category

12/03/18

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NOVEMBER 2018

Enforcement Number	Address	Previous Status	Status	Filed	Date	Closed	Rental
ENF 18-0924	307 CORUNNA AVE	COMPLAINT LOGGED	INSPECTION PENDING	11/29/18			VAC
Total Entries:				1			

Total Records: 65

Total Pages: 6

RENTAL COLUMN DEFINITIONS

Y - Yes, it's a rental
N - No, it's not a rental - owner occupied
APTS - Apartment Building
COMM - Commercial
REPO - Repossession
TRAIL - Trailer Park
VAC - Vacant House
VL - Vacant Lot
IND - Industrial
HOME OCC - Home Occupied

*These are on-going complaints and will be resolved with compliance or possible court action.

Certificates Issued by Month for 2018

Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
BENTLEY PARK RENTAL												
0	0	0	0	0	0	6	6	1	0	0	0	13
\$0.00	0.00	0.00	0.00	0.00	0.00	75.00	175.00	25.00	0.00	0.00	0.00	\$275.00
HARMON PATRIDGE PARK RENTAL												
0	0	0	0	0	0	7	5	4	0	0	0	16
\$0.00	0.00	0.00	0.00	0.00	0.00	225.00	125.00	100.00	0.00	0.00	0.00	\$450.00
Rental												
7	2	3	6	0	0	4	3	52	222	45	0	344
\$250.00	50.00	125.00	100.00	0.00	0.00	150.00	75.00	2,700.00	21,750.00	2,900.00	0.00	\$28,100.00
RESIDENTIAL DESIGNATED PARKING												
0	0	0	0	0	0	0	0	1	0	0	0	1
\$0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	700.00	0.00	0.00	0.00	\$700.00
RESIDENTIAL PARKING PERMIT												
0	0	0	0	0	0	0	3	3	0	3	0	9
\$0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	\$0.00
TOTALS:												
7	2	3	6	0	0	17	17	61	222	48	0	383
\$250.00	50.00	125.00	100.00	0.00	0.00	450.00	375.00	3,525.00	21,750.00	2,900.00	0.00	29,525.00

PARK RENTALS WERE TRANSFERRED TO THE BUILDING DEPARTMENT IN JULY 2018. THE NUMBERS IN THIS REPORT DO NOT REFLECT THE ENTIRE PARK RENTAL SEASON



OWOSSO PUBLIC SAFETY

202 S. WATER ST. • OWOSSO, MICHIGAN 48867-2958 • (989) 725-0580 • FAX (989) 725-0528

MEMORANDUM

DATE: December 10, 2018
TO: Owosso City Council
FROM: Eric E. Cherry
Police Department Lieutenant
RE: November 2018 Police Reports

Attached are the statistics for the Police Department for November 2018. One report is an offense summary for the month of November, by offense type. The other report, neighborhood crime report, lists the occurred on date, case number, location, and the complaint type for reports in November. The officers completed three hundred fifteen (315) field interviews this month, which are calls where a full criminal report is not needed. Your Owosso Police Officers arrested forty six (46) persons this month for sixty (60) total offenses.

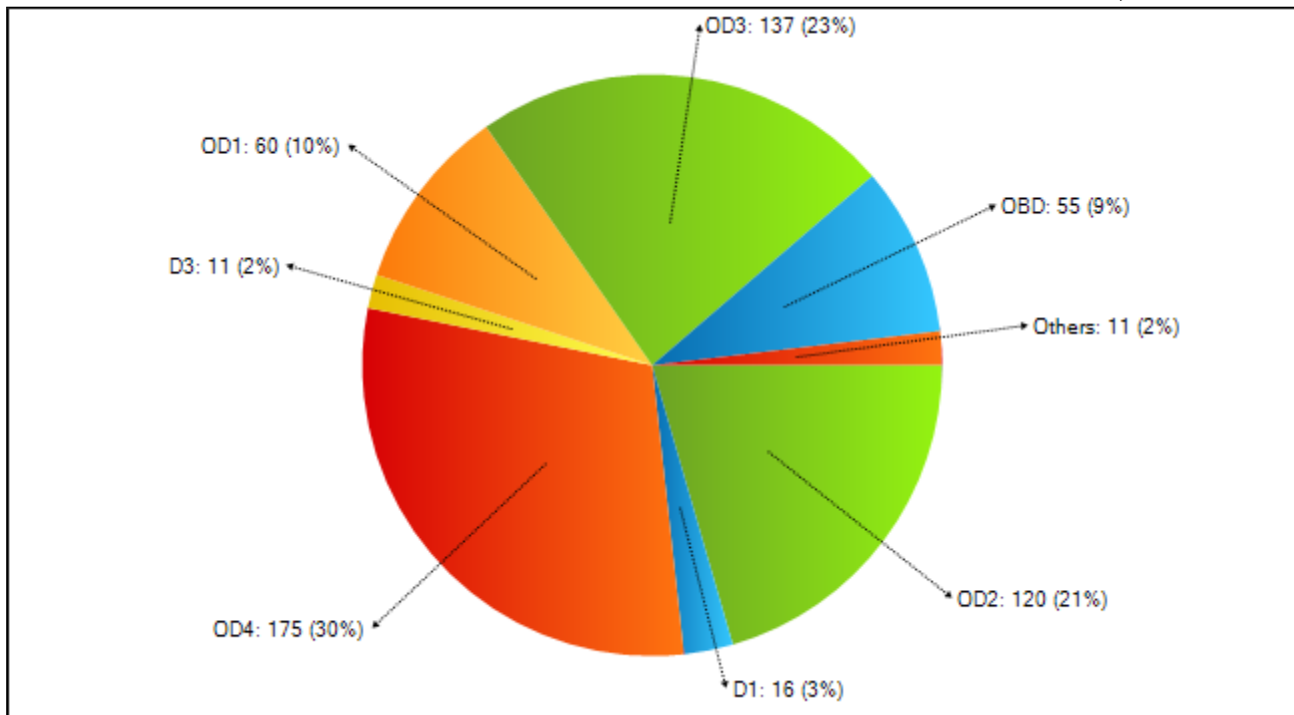
For November 2018 the police handled five hundred eighty five (585) police events, one hundred twenty nine (129) were traffic stops, about twenty two (22) percent of their work activity.

On the following page are two (2) pie charts one showing calls handled by Owosso City Police District, there are five (5) districts within the City of Owosso. The second pie chart is calls throughout the county handled by agency.

Respectfully,

Lt. Eric E. Cherry

BELOW IS A BREAKDOWN OF POLICE EVENTS HANDLED BY OWOSSO POLICE, BY DISTRICT



OD1: Owosso City District 1 (northwest, north of M-21 and west of M-52)

OD2: Owosso City District 2 (northeast, north of M-21 and east of M-52)

OD3: Owosso City District 3 (southwest, south of M-21 and west of M-52)

OD4: Owosso City District 4 (southeast, south of M-21 and east of M-52, excluding business district and police office)

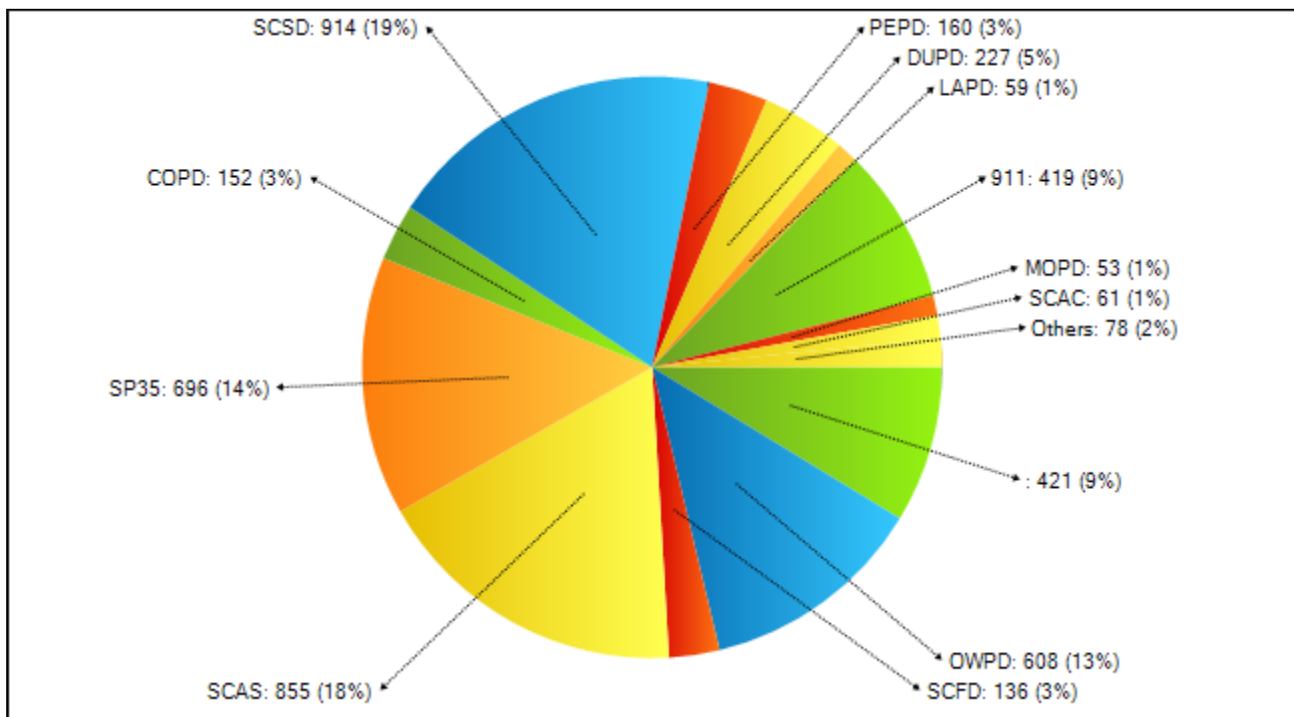
ODB: Owosso City Downtown Business District

D1: Shiawassee County northwest district (west of M-52 and north of Hibbard Road)

D3: Shiawassee County northeast district (east of M-52 and north of Hibbard Road)

Others: Included City of Corunna's 3 districts and any other area officer's responded.

BELOW IS A BREAKDOWN OF EVENTS HANDLED BY AGENCY



SCSD: Shiawassee County Sheriff's Office

DUPD: Durand City Police

SCFD: Shiawassee County Fire Departments

PEPD: Perry City Police

LAPD: Laingsburg City Police

SCAC: Shiawassee County Animal Control

Others: All Other Departments

SP35: Michigan State Police Post #35

OWPD: Owosso City Police

SCAS: Shiawassee County Ambulance Services

COPD: Corunna City Police

911: Shiawassee County 911 Center

Owosso PD Offense Summary

Occurred 11/1/2018 - 11/30/2018

Offense	Total Offenses
0301 - 03000 - Illegal Entry	1
1072 - 10002 - Parental Kidnap	1
1302 - 13002 - Aggravated/Felonious Assault - Family - Other Weapon	1
1304 - 13002 - Aggravated/Felonious Assault - Non-Family - Gun	2
1305 - 13002 - Aggravated/Felonious Assault - Non-Family - Other Weapon	1
1306 - 13002 - Aggravated/Felonious Assault - Non-Family - Strong Arm	1
1313 - 13001 - Assault and Battery/Simple Assault	21
1316 - 13003 - Intimidation	1
1399 - 13002 - Assault (Other)	2
2202 - 22001 - Burglary - Forced Entry - Residence (Including Home Invasion)	2
2299 - 22001 - Burglary -Other Forced Entry	1
2305 - 23005 - Larceny - Personal Property from Vehicle	2
2308 - 23003 - Larceny - From Building (Includes library, office used by public, etc)	2
2399 - 23007 - Larceny (Other)	2
2507 - 25000 - Possess Counterfeited - Any Object	1
2603 - 26001 - Mail Fraud	1
2608 - 26005 - Fraud by Wire	1
2693 - 26006 - Uttering and Publishing Check	1
2804 - 28000 - Stolen Property - Possessing	1
2902 - 29000 - Damage to Property - Private Property	4
2996 - 29000 - Damage to Property - Throwing Stone, etc., at Train or Motor Vehicle	1
3078 - 30002 - Retail Fraud Theft 3rd Degree	1
3547 - 35001 - Methamphetamine - Possess	3
3550 - 35002 - Narcotic Equipment	1
3551 - 35002 - Operating/Maintaining Meth Lab	1
3562 - 35001 - Marijuana - Possess	2
3805 - 38003 - Contribute to Delinquency of Minor (Except Alcohol)	1
3808 - 38002 - (Child Support) Non-Support of Parents	3
3898 - 38001 - Cruelty/Neglect (Other)	1
3899 - 38003 - Family Offense (Other)	1
4801 - 48000 - Resisting Officer	4
4877 - 48000 - Fleeing and Eluding (Felony)	1
5005 - 50000 - Contempt of Court	1
5006 - 50000 - Obstructing Justice	3
5007 - 50000 - Obstructing Court Order	1

Owosso PD Offense Summary

Occurred 11/1/2018 - 11/30/2018

5012 - 50000 - Probation Violation	2
5015 - 50000 - Failure to Appear	5
5202 - 52001 - Concealed Weapons - Carrying Concealed	2
5311 - 53001 - Disorderly Conduct	3
5393 - 53001 - Disorderly Conduct (Other)	2
5599 - 55000 - Health and Safety Violations (Other)	2
5707 - 57001 - Trespass (Other)	1
7070 - 70000 - Runaway	4
7399 - 73000 - Miscellaneous Arrest	1
8041 - 54002 - Operating Under the Influence of Intoxicating Liquor	1
8073 - 54003 - Traffic - Reckless Driving	2
8271 - 54003 - Traffic - No Operators License	2
8273 - 54003 - Traffic - Driving on Susp/Revoked/Refused License	9
8275 - 54003 - Traffic - Driver License Law Violations	1
8277 - 54003 - Traffic - Registration Law Violations	1
8328 - 54003 - Motor Vehicle Violation	1
9908 - 92004 - Civil Custodies - Insanity (Mental)	5
9910 - 93001 - Traffic, Non-Criminal - Accident	23
9911 - 93002 - Traffic, Non-Criminal - Non-Traffic Accident	8
9937 - 97006 - Other Non-Criminal Accidents - All Other	1
9943 - 98007 - Inspections/Investigations - Suspicious Situations	1
9944 - 98008 - Inspections/Investigations - Lost and Found Prop	8
9946 - 99001 - Miscellaneous - Suicide	1
9953 - 99008 - Miscellaneous - General Assistance	3
9954 - 99009 - Miscellaneous - Non-Criminal	9
9956 - 99008 - Miscellaneous - Assist to Other Police Agency	2
9962 - 96900 - Terrorist Activity - Other	1
Total	175

Owosso Neighborhood Crime Report

Occurred 11/1/2018 - 11/30/2018

Occurred Date	Case No	Location	Offense
11/7/2018	1864501745	600 block N Washington St	AGGRAVATED/FELONIOUS ASSAULT
11/13/2018	1864501772	1000 block N Krust Dr	AGGRAVATED/FELONIOUS ASSAULT
11/14/2018	1864501773	1000 block W Main St	AGGRAVATED/FELONIOUS ASSAULT
11/16/2018	1864501790	900 block N Washington St	AGGRAVATED/FELONIOUS ASSAULT
11/25/2018	1864501847	1400 block W Penbroke Dr	AGGRAVATED/FELONIOUS ASSAULT
11/29/2018	1864501864	300 block S Chipman St	AGGRAVATED/FELONIOUS ASSAULT
11/30/2018	1864501867	1400 block W Cleveland St	AGGRAVATED/FELONIOUS ASSAULT
11/2/2018	1864501751	500 block S Washington St	BURGLARY -FORCED ENTRY
11/14/2018	1864501779	600 block N Shiawassee St	BURGLARY -FORCED ENTRY
11/16/2018	1864501791	1400 block S Chipman St	BURGLARY -FORCED ENTRY
11/6/2018	1864501743	200 block W Oliver St	CIVIL CUSTODIES - INSANITY (MENTAL)
11/9/2018	1864501754	200 block W Oliver St	CIVIL CUSTODIES - INSANITY (MENTAL)
11/11/2018	1864501759	1100 block S Shiawassee St	CIVIL CUSTODIES - INSANITY (MENTAL)
11/14/2018	1864501778	700 block E Corunna Ave	CIVIL CUSTODIES - INSANITY (MENTAL)
11/15/2018	1864501784	1200 block W Main St	CIVIL CUSTODIES - INSANITY (MENTAL)
11/3/2018	1864501728	600 block W Main St	DAMAGE TO PROPERTY
11/16/2018	1864501790	900 block N Washington St	DAMAGE TO PROPERTY
11/18/2018	1864501813	600 block N Hickory St	DAMAGE TO PROPERTY
11/19/2018	1864501809	S Chipman St / W Clyde St	DAMAGE TO PROPERTY
11/24/2018	1864501837	600 block S Lincoln Ave	DAMAGE TO PROPERTY
11/3/2018	1864501732	S State / W Stewart St	DISORDERLY CONDUCT
11/8/2018	1864501748	600 block N Washington St	DISORDERLY CONDUCT
11/23/2018	1864501830	600 block N Shiawassee	DISORDERLY CONDUCT
11/24/2018	1864501831	300 block E Corunna Ave	DISORDERLY CONDUCT
11/24/2018	1864501835	W Curwood Castle Dr	DISORDERLY CONDUCT
11/27/2018	1864501849	1100 Block Of W Stewart	FAMILY -ABUSE/NEGLECT NONVIOLENT
11/15/2018	1864501783	S Gould St / E Grover St	FAMILY -NONSUPPORT
11/21/2018	1864501816	100 block W Main St	FAMILY -NONSUPPORT
11/24/2018	1864501831	300 block E Corunna Ave	FAMILY -NONSUPPORT
11/10/2018	1864501763	1200 block Milwaukee St	FAMILY -OTHER
11/13/2018	1864501768	600 block W Main St	FAMILY -OTHER
11/26/2018	1864501840	400 block W Main St	FORGERY/COUNTERFEITING
11/16/2018	1864501808	500 block S Washington St	FRAUD -BAD CHECKS
11/2/2018	1864501723	200 block S Robbins St	FRAUD -FALSE PRETENSE/SWINDLE/CONFIDENCE GAME
11/30/2018	1864501913	600 block S Glenwood Ave	FRAUD -WIRE FRAUD

Owosso Neighborhood Crime Report

Occurred 11/1/2018 - 11/30/2018

11/3/2018	1864501731	900 block S Grand Ave	HEALTH AND SAFETY
11/18/2018	1864501800	200 block Michigan Ave	HEALTH AND SAFETY
11/19/2018	1864501806	700 block S Abrey St	IMMIGRATION
11/4/2018	1864501733	1100 block W Stewart St	INSPECTIONS/INVESTIGATIONS - LOST AND FOUND PROP
11/8/2018	1864501749	200 block Curwood Castle Dr	INSPECTIONS/INVESTIGATIONS - LOST AND FOUND PROP
11/21/2018	1864501817	900 block S Washington St	INSPECTIONS/INVESTIGATIONS - LOST AND FOUND PROP
11/21/2018	1864501820	300 block E Comstock St	INSPECTIONS/INVESTIGATIONS - LOST AND FOUND PROP
11/21/2018	1864501821	300 block E Comstock St	INSPECTIONS/INVESTIGATIONS - LOST AND FOUND PROP
11/21/2018	1864501819	300 block E Comstock St	INSPECTIONS/INVESTIGATIONS - LOST AND FOUND PROP
11/21/2018	1864501818	300 block E Comstock St	INSPECTIONS/INVESTIGATIONS - LOST AND FOUND PROP
11/21/2018	1864501822	300 block E Comstock St	INSPECTIONS/INVESTIGATIONS - LOST AND FOUND PROP
11/9/2018	1864501757	1200 block N Orchard St	INSPECTIONS/INVESTIGATIONS - SUSPICIOUS SITUATIONS
11/4/2018	1864501735	500 block S Washington St	INTIMIDATION/STALKING
11/4/2018	1864501742	600 block N Water St	JUVENILE RUNAWAY
11/13/2018	1864501767	300 block N Dewey St	JUVENILE RUNAWAY
11/13/2018	1864501770	500 block W Main St	JUVENILE RUNAWAY
11/28/2018	1864501865	600 block E Comstock St	JUVENILE RUNAWAY
11/12/2018	1864501877	1100 block W Main St	LARCENY -OTHER
11/21/2018	1864501814	300 block N Dimmick St	LARCENY -OTHER
11/3/2018	1864501729	400 block E Main St	LARCENY -THEFT FROM BUILDING
11/19/2018	1864501807	1300 block E Melinda Ave	LARCENY -THEFT FROM BUILDING
11/26/2018	1864501845	700 block N Washington St	LARCENY -THEFT FROM MOTOR VEHICLE
11/30/2018	1864501883	600 block S Lincoln St	LARCENY -THEFT FROM MOTOR VEHICLE
11/5/2018	1864501741	800 block W Stewart St	MISCELLANEOUS - ASSIST TO OTHER POLICE AGENCY
11/26/2018	1864501841	Park / Exchange	MISCELLANEOUS - ASSIST TO OTHER POLICE AGENCY
11/10/2018	1864501758	300 block E Main St	MISCELLANEOUS - GENERAL ASSISTANCE
11/14/2018	1864501777	300 block S Michigan Ave	MISCELLANEOUS - GENERAL ASSISTANCE
11/16/2018	1864501788	700 block E North St	MISCELLANEOUS - GENERAL ASSISTANCE
11/9/2018	1864501761	1600 block W South St	MISCELLANEOUS - NON-CRIMINAL
11/13/2018	1864501771	400 block Huron St	MISCELLANEOUS - NON-CRIMINAL

Owosso Neighborhood Crime Report

Occurred 11/1/2018 - 11/30/2018

11/17/2018	1864501797	1000 block S Chipman St	MISCELLANEOUS - NON-CRIMINAL
11/18/2018	1864501801	Mason St / Saginaw St	MISCELLANEOUS - NON-CRIMINAL
11/27/2018	1864501844	600 block S Alger Ave	MISCELLANEOUS - NON-CRIMINAL
11/27/2018	1864501846	300 block E Exchange St	MISCELLANEOUS - NON-CRIMINAL
11/29/2018	1864501861	800 block Woodlawn Ave	MISCELLANEOUS - NON-CRIMINAL
11/29/2018	1864501860	500 block Glenwood Ave	MISCELLANEOUS - NON-CRIMINAL
11/29/2018	1864501862	500 block E Williams St	MISCELLANEOUS - NON-CRIMINAL
11/21/2018	1864501824	700 block Huntington Dr	MISCELLANEOUS - SUICIDE
11/16/2018	1864501786	Moore St / Krust Dr	MISCELLANEOUS CRIMINAL OFFENSE
11/7/2018	1864501747	S Lansing / W Main St	MOTOR VEHICLE VIOLATION
11/7/2018	1864501745	600 block N Washington St	NARCOTIC EQUIPMENT VIOLATIONS
11/12/2018	1864501765	100 block E Corunna Ave	NARCOTIC EQUIPMENT VIOLATIONS
11/2/2018	1864501727	700 block E Oliver St	NONAGGRAVATED ASSAULT
11/4/2018	1864501737	600 block E King St	NONAGGRAVATED ASSAULT
11/6/2018	1864501828	800 block W Main St	NONAGGRAVATED ASSAULT
11/9/2018	1864501769	200 block W Oliver St	NONAGGRAVATED ASSAULT
11/9/2018	1864501755	900 block S Division St	NONAGGRAVATED ASSAULT
11/10/2018	1864501756	1000 block W Main St	NONAGGRAVATED ASSAULT
11/11/2018	1864501762	600 block E Corunna Ave	NONAGGRAVATED ASSAULT
11/12/2018	1864501766	200 block N Water St	NONAGGRAVATED ASSAULT
11/14/2018	1864501774	300 block S Chipman St	NONAGGRAVATED ASSAULT
11/14/2018	1864501776	1400 block W Cleveland Ave	NONAGGRAVATED ASSAULT
11/17/2018	1864501799	200 block N Water St	NONAGGRAVATED ASSAULT
11/18/2018	1864501802	800 block E Grover St	NONAGGRAVATED ASSAULT
11/20/2018	1864501810	1300 block S Broadway Ave	NONAGGRAVATED ASSAULT
11/21/2018	1864501814	300 block N Dimmick St	NONAGGRAVATED ASSAULT
11/21/2018	1864501825	600 block N Ball St	NONAGGRAVATED ASSAULT
11/22/2018	1864501826	1400 block W Mansfield Dr	NONAGGRAVATED ASSAULT
11/24/2018	1864501836	100 block S Lansing St	NONAGGRAVATED ASSAULT
11/25/2018	1864501839	1000 block S State St	NONAGGRAVATED ASSAULT
11/26/2018	1864501843	800 block W King St	NONAGGRAVATED ASSAULT
11/28/2018	1864501857	500 block E Corunna Ave	NONAGGRAVATED ASSAULT
11/29/2018	1864501870	700 block E North St	NONAGGRAVATED ASSAULT
11/30/2018	1864501878	800 block N Adams	NONAGGRAVATED ASSAULT
11/4/2018	1864501734	500 block S Washington St	OBSTRUCTING JUSTICE
11/4/2018	1864501735	507 block S Washington St	OBSTRUCTING JUSTICE
11/7/2018	1864501747	S Lansing / W Main St	OBSTRUCTING JUSTICE
11/14/2018	1864501780	1200 block W Penbrook Dr	OBSTRUCTING JUSTICE

Owosso Neighborhood Crime Report

Occurred 11/1/2018 - 11/30/2018

11/19/2018	1864501804	200 block S Water St	OBSTRUCTING JUSTICE
11/19/2018	1864501805	S Gould St / E Jerome St	OBSTRUCTING JUSTICE
11/24/2018	1864501833	1400 block W Penbroke Dr	OBSTRUCTING JUSTICE
11/24/2018	1864501835	W Curwood Castle Dr	OBSTRUCTING JUSTICE
11/29/2018	1864501859	N Saginaw St / E Exchange St	OBSTRUCTING JUSTICE
11/29/2018	1864501863	500 block E Main St	OBSTRUCTING JUSTICE
11/30/2018	1864501866	1100 block W Main St	OBSTRUCTING JUSTICE
11/30/2018	1864501875	200 block E Main St	OBSTRUCTING JUSTICE
11/3/2018	1864501732	S State / W Stewart St	OBSTRUCTING POLICE
11/16/2018	1864501785	400 block E Exchange St	OBSTRUCTING POLICE
11/17/2018	1864501793	800 block S Chestnut St	OBSTRUCTING POLICE
11/24/2018	1864501831	300 block E Corunna Ave	OBSTRUCTING POLICE
11/24/2018	1864501835	W Curwood Castle Dr	OBSTRUCTING POLICE
11/16/2018	1864501785	400 block E Exchange St	OPERATING UNDER THE INFLUENCE OF LIQUOR OR DRUGS
11/17/2018	1864501798	W Cass St / S Cedar St	OTHER NON-CRIMINAL ACCIDENTS - ALL OTHER
11/21/2018	1864501823	500 block N Oak St	PARENTAL KIDNAPPING
11/30/2018	1864501869	100 block S Washington St	RETAIL FRAUD -THEFT
11/4/2018	1864501738	600 block N Washington St	STOLEN PROPERTY
11/14/2018	1864501782	700 block E North St	TERRORIST ACTIVITY - OTHER
11/20/2018	1864501811	S Chipman St / W Lynn St	TRAFFIC - DRIVER LICENSE LAW VIOLATIONS
11/2/2018	1864501722	Shiawassee / King	TRAFFIC - DRIVING ON SUSP/REVOKED/REFUSED LICENSE
11/7/2018	1864501747	S Lansing / W Main St	TRAFFIC - DRIVING ON SUSP/REVOKED/REFUSED LICENSE
11/14/2018	1864501775	S Grand Ave / E Keyte St	TRAFFIC - DRIVING ON SUSP/REVOKED/REFUSED LICENSE
11/16/2018	1864501785	400 block E Exchange St	TRAFFIC - DRIVING ON SUSP/REVOKED/REFUSED LICENSE
11/17/2018	1864501793	800 block S Chestnut St	TRAFFIC - DRIVING ON SUSP/REVOKED/REFUSED LICENSE
11/17/2018	1864501794	E Corunna Ave / Holiday Ave	TRAFFIC - DRIVING ON SUSP/REVOKED/REFUSED LICENSE
11/18/2018	1864501803	800 block W Main St	TRAFFIC - DRIVING ON SUSP/REVOKED/REFUSED LICENSE
11/19/2018	1864501805	S Gould St / E Jerome St	TRAFFIC - DRIVING ON SUSP/REVOKED/REFUSED LICENSE
11/23/2018	1864501829	300 block W Main St	TRAFFIC - DRIVING ON SUSP/REVOKED/REFUSED LICENSE
11/7/2018	1864501746	Main / Oakwood	TRAFFIC - NO OPERATORS LICENSE
11/28/2018	1864501856	N Washington St / W Mason St	TRAFFIC - NO OPERATORS LICENSE

Owosso Neighborhood Crime Report

Occurred 11/1/2018 - 11/30/2018

11/16/2018	1864501785	400 block E Exchange St	TRAFFIC - RECKLESS DRIVING
11/17/2018	1864501793	800 block S Chestnut	TRAFFIC - RECKLESS DRIVING
11/30/2018	1864501874	E King St / N Hickory St	TRAFFIC - REGISTRATION LAW VIOLATIONS
11/1/2018	1864501718	W Exchange St / N Water St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/2/2018	1864501721	1200 block W Main St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/2/2018	1864501725	Shiawassee	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/3/2018	1864501730	S Shiawassee St / W Ryan St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/5/2018	1864501739	N Gould St / E Main St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/6/2018	1864501744	500 block E Oliver St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/9/2018	1864501752	W Main St / N Chipman St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/9/2018	1864501753	M-21 / Oak St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/12/2018	1864501764	S Gould St / E Comstock St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/16/2018	1864501789	N Shiawassee St / W River St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/17/2018	1864501792	M-21 / N Water St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/17/2018	1864501795	700 block S Alger Ave	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/20/2018	1864501812	Clinton / Elm St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/24/2018	1864501834	100 block E Ridge St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/26/2018	1864501838	Mcmillian / Monroe	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/26/2018	1864501842	800 block W King St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/27/2018	1864501848	1500 block W Young St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/27/2018	1864501853	Stewart / Shiawassee	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/28/2018	1864501858	W Shady Lane Dr / N Chipman St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/30/2018	1864501876	900 block W Hampton	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/30/2018	1864501868	W Stewart St / S Washington St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/30/2018	1864501872	100 block S Ball St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/30/2018	1864501873	N Dewey St / E Main St	TRAFFIC, NON-CRIMINAL - ACCIDENT
11/2/2018	1864501724	200 block E Main St	TRAFFIC, NON-CRIMINAL - NON-TRAFFIC ACCIDENT
11/4/2018	1864501736	200 block E Main St	TRAFFIC, NON-CRIMINAL - NON-TRAFFIC ACCIDENT
11/8/2018	1864501750	200 block S M-52	TRAFFIC, NON-CRIMINAL - NON-TRAFFIC ACCIDENT
11/11/2018	1864501851	300 block S Elm St	TRAFFIC, NON-CRIMINAL - NON-TRAFFIC ACCIDENT
11/14/2018	1864501781	600 block W Main St	TRAFFIC, NON-CRIMINAL - NON-TRAFFIC ACCIDENT
11/19/2018	1864501852	200 block S Washington St	TRAFFIC, NON-CRIMINAL - NON-TRAFFIC ACCIDENT
11/21/2018	1864501815	M-52 / M-21	TRAFFIC, NON-CRIMINAL - NON-TRAFFIC ACCIDENT
11/23/2018	1864501850	600 block W Main St	TRAFFIC, NON-CRIMINAL - NON-TRAFFIC ACCIDENT
11/28/2018	1864501854	700 block S Abrey St	TRESPASS
11/2/2018	1864501726	Getman Rd / Chippewa Trl	VIOLATION OF CONTROLLED SUBSTANCE ACT
11/3/2018	1864501732	S State / W Stewart St	VIOLATION OF CONTROLLED SUBSTANCE ACT
11/12/2018	1864501765	100 block E Corunna Ave	VIOLATION OF CONTROLLED SUBSTANCE ACT

Owosso Neighborhood Crime Report

Occurred 11/1/2018 - 11/30/2018

11/22/2018	1864501827	N Shiawassee St / W Williams St	VIOLATION OF CONTROLLED SUBSTANCE ACT
11/28/2018	1864501855	700 block S Abrey St	VIOLATION OF CONTROLLED SUBSTANCE ACT
11/16/2018	1864501790	900 block N Washington St	WEAPONS OFFENSE - CONCEALED
11/19/2018	1864501805	S Gould St / E Jerome St	WEAPONS OFFENSE - CONCEALED
Total	176		



301 W. MAIN • OWOSSO, MICHIGAN 48867-2958 • (989) 725-0599

MEMORANDUM

DATE: December 10, 2018

TO: Owosso City Council

FROM: Kevin Lenkart
Director of Public Safety

RE: November 2018 Fire & Ambulance Report

During the month of November 2018:

Fire Department responded to 223 Ambulance calls

Fire Department responded to 14 Fire calls –

Building Fires	0
Building Fires Mutual Aid	1
Gas Leak/CO Alarm	3
False Alarms	7
Vehicle Accidents	0
EMS Assist	1
Vehicle Fire	1
Illegal Burn	0
Other Fires	0
Wires Down	1

MINUTES
REGULAR MEETING OF THE
DOWNTOWN DEVELOPMENT AUTHORITY/MAIN STREET
CITY OF OWOSSO
December 5, 2018 AT 7:30 AM
CITY COUNCIL CHAMBERS

The December 5, 2018 meeting was cancelled due to scheduling conflicts of the majority of the board members.

CALL TO ORDER:

ROLL CALL:

MEMBERS PRESENT:

MEMBERS ABSENT:

OTHERS PRESENT:

AGENDA:

PUBLIC COMMENTS:

